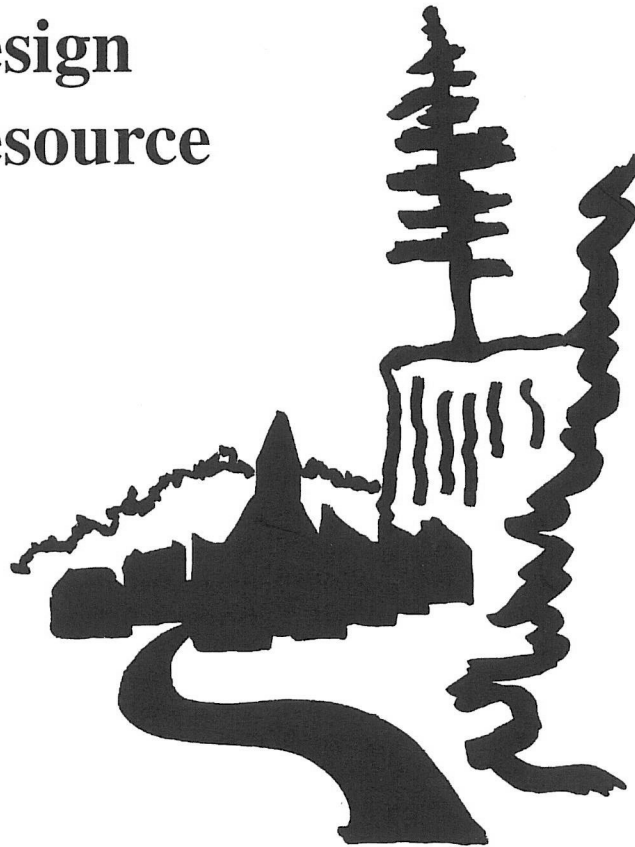


**Bancroft
Community
Design
Resource**



Prepared Spring 1997

for the

Bancroft Business Improvement Area



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ABSTRACT...

' The Bancroft Community Design Resource '

is a

toolbox

of ideas, research, and direction for the Town of

Bancroft; a dual community and designer

response to the

Bancroft Business Improvement Area's

initiating question ...

Where can we go from here ?

Like any such open-ended question, the answers can be

many and complex. It is the purpose of this resource to

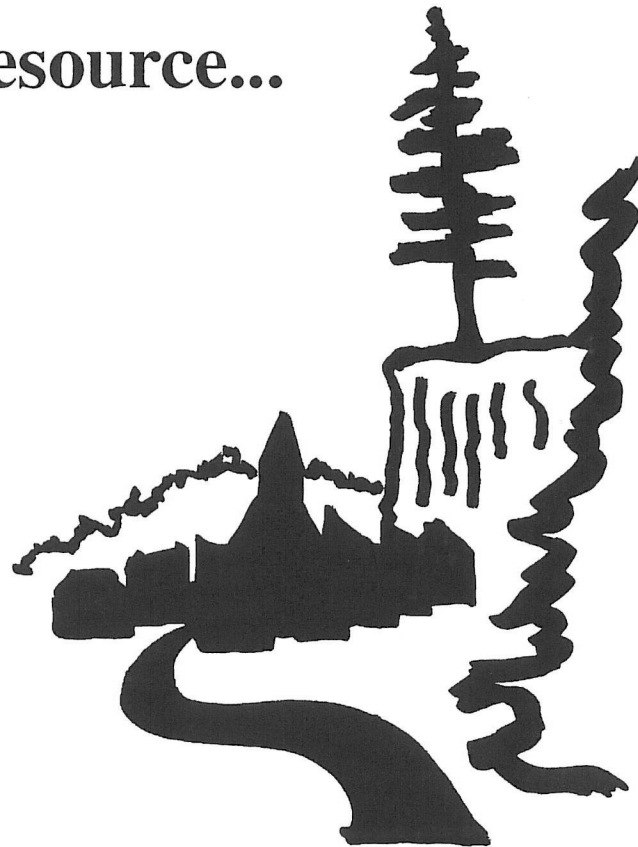
assemble such answers in a

useful and compelling way.

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Using this Resource...



Using this Resource...

This document packages several resource modules together, though they may also be useful independently. These resources are intended to aid design decision making in Bancroft, both at an individual level and at a community level.

The Bancroft Design Dialogue *has been the community involvement tool - an interface between design consultant and community. It has been the guiding hand to Community Vision Building throughout the process.*

A Bancroft Character Sketch *provides a general snapshot of Bancroft, useful to understanding and respecting what Bancroft is.*

Community Vision Building *pulls together the priority community goals identified by the participants of the Dialogue and offers a speculative Town Vision as a focus for further design energies.*

The Commercial Design Vocabulary *is intended as a loose framework to help interested individual business owners to make design decisions that contribute to the community. This framework could also be the basis for Town - level design guidelines for development review.*

Town Level Design Decision Making *is a module that explores how to deliver the Community Vision within the public arena.*

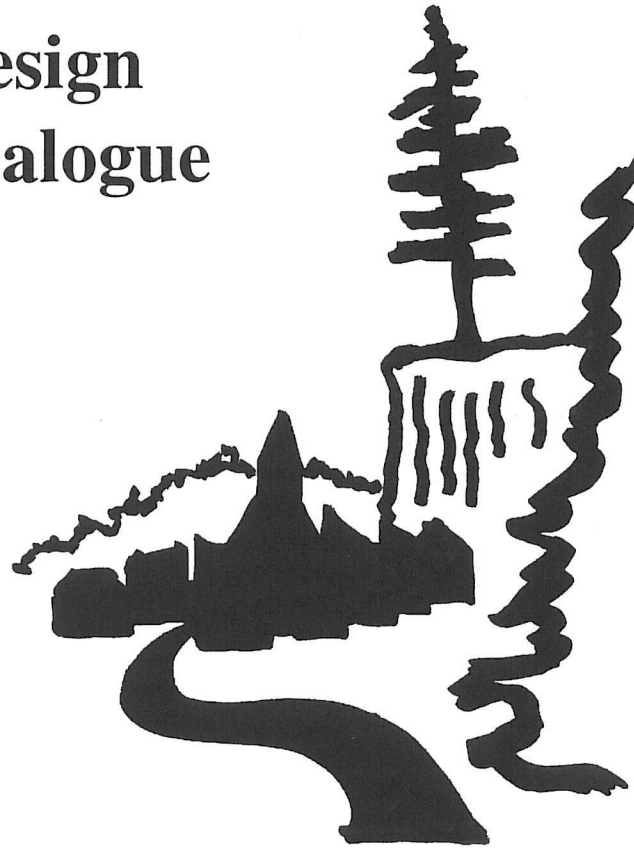
Town Planning Mechanisms *briefly lists some of the key planning mechanisms that will come into play while pursuing the Vision.*

The Role of the BBIA *summarizes the three hats that a Business Improvement Area wears within the community design context.*

Community Commentary *a summary of community comments collected throughout the Dialogue process is included in the appendices for those interested in assessing pure community response, interpretation free.*

Whatever way this material is used, it will rest on those design decision makers at both levels to make their decisions in an informed manner. Every decision impacts to some degree on the larger community - the trick is to find the creative balance between conformity and chaos.

The Bancroft Design Dialogue



Working together to guide the
growth of our community.

the Bancroft Design Dialogue ...

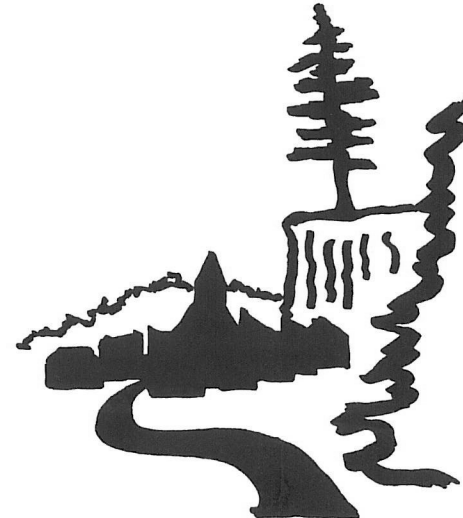
The basis of the Bancroft Design Dialogue has been to get the town talking about itself as a community. Talking about individual and common perceptions of the assets & shortcomings of Bancroft; and thinking about the image and function of the community as a whole.

Bancroft has evolved as the sum of many design decisions over its existence. If you were to consider each of those decisions a colour, then without a community vision, Bancroft could easily become an over-mixed shade of gray. A balance between individual building choices, and their impact on the image of the entire Town needs to be established. Not all forms of development are in the best interest of the community at large.

The Dialogue has been an idea generator - establishing a feeling of local character, identifying those design elements from which the Town benefits or suffers, and developing a basic community vision for Bancroft to work with.

Strengthening our image goes beyond merely face-lifting the Town. In order to make the most of our resources, to better accommodate visitors, and to improve the livability of our community, we must also look at how the Town functions. Such physical components as parking, traffic, pedestrian connections, public services and recreation opportunities are all important parts of a successful community.

The ' *bottom line* ' for successful communities is more than merely economic success (though that is an intrinsic part). It comes down to quality of life - about recognizing the things which add or detract from a pleasurable living environment. Whether you are a local resident, live or cottage in the service area, or a visitor, Bancroft offers a sense of place to you. That feeling is defined by its physical components, the happiness and hospitality of its inhabitants, and by its history and character. By reinforcing those physical components with our history and character, our sense of place is made more distinct. Our quality of life and our marketability as a community can be tremendously enhanced by that distinction.



Introducing the

Bancroft Design Dialogue

Where all of us can begin working together to guide the growth of our community. By participating in the Bancroft Design Dialogue, issues and ideas that are important to us, as residents, merchants, and rural area users can be brought to the table. Together, we CAN make our community more livable, more appealing to visitors, and more profitable for our local economy.

The Bancroft Business Improvement Association has recently retained a local design consultant to help stimulate this important discussion. His initial findings and many opportunities for you to relate your own Bancroft desires and dislikes will be available at the first of two design open houses.

What common community theme seems most suitable to you ?

How do we string together the various Town interests into a strong whole ?

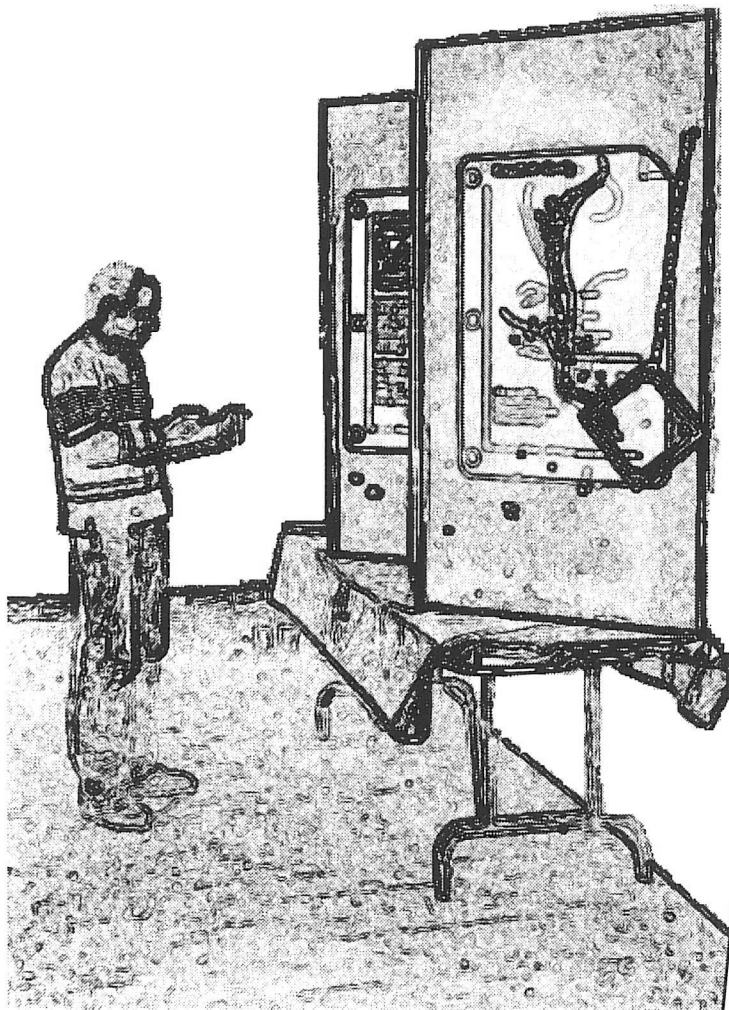
Where does Bancroft begin and end in your mind ?

Is our community Attractive? Walkable ? Safe ? Dynamic ?

Plan on exploring the
Bancroft Design Dialogue,
within the walls of the
Eastern Star meeting hall,
on Sherbourne Street any time
6:00 - 10:00pm, Tue, Oct 1st
Refreshments will be served.

Your community would like to hear from you !





The Bancroft Design Dialogue

Working together to guide the growth of our community.

Final Open House

"Putting Bancroft's distinct character to work for us!"

A collection of the project findings, available for public comment before the assembly of a community design guide. Bring along your image of our town; its strengths, character and potential. Your community would like to hear from you!

Plan on exploring the
Bancroft Design Dialogue
within the walls of the
Eastern Star meeting hall
Sherbourne St, any time between
12 to 10 pm Wed Feb 26th
refreshments will be served

The Bancroft Design Dialogue

PRESS RELEASE / MARCH 5th, 1997

The Bancroft Design Dialogue has now completed its formal dialogue component of its mandate - though community dialogue about its evolution should be considered a critical, ongoing activity for Bancroft.

The second community open house, "Community Vision-Building", was held on February 28th. It was based on community commentary from the first open house "Design Conversation Pieces"; and three team workshops tackling "Town Character", "Theme Development", and "The Bancroft Pedestrian". Despite freezing rain, over 80 people participated in the interactive open house. With over 200 attending the first open house, and 12 different individuals at each of the three workshops, the Bancroft Design Dialogue has provided a wealth of community input, fundamental to creating a starting vision for Bancroft design efforts. Those community comments and design recommendations provided by Hinterland Community Planning & Design will now be paired into a resource package, in a format useful to both individual design decision makers and Town level decision making. The Bancroft Business Improvement Area will then decide how to distribute these project findings to best aid in Bancroft's evolution. To further assist with the implementation of this community vision, Hinterland will waive its fee for initial design consultations for interested Bancroft business owners.

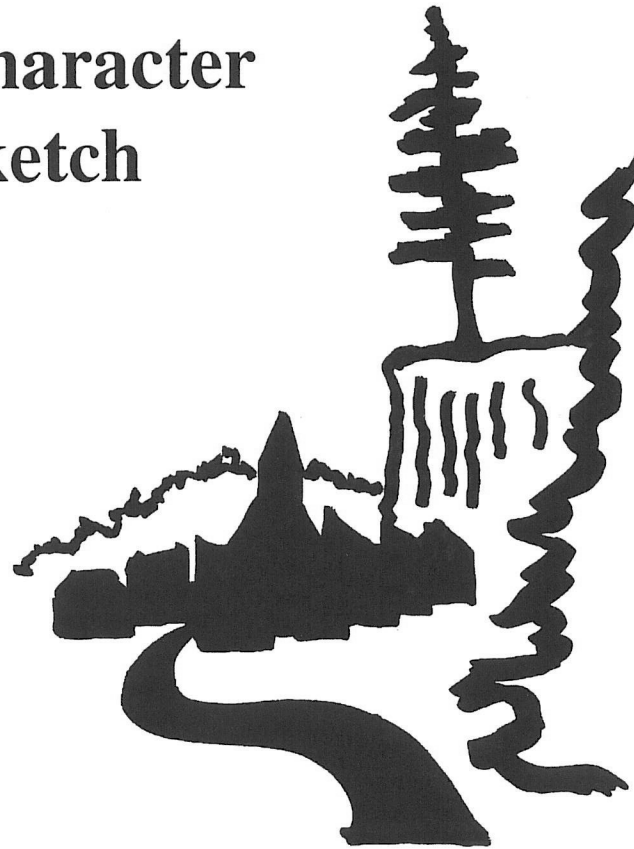
Trevor Hesselink, of Hinterland Community Planning & Design, would like to thank all of the participants for all of their support and spirit throughout this process.



"The Design Dialogue is well timed, as changes are being pushed on us from all directions. With the help of this project we will be able to respond, rather than react!"

"Keep up the Dialogue ! "

A Bancroft Character Sketch



What do we have to work with ?

CHARACTERIZING OUR TOWN ...

In order to generate a vision that "fits" the town, an understanding of the Town's character is important. That image should respect the...



"Country,

friendly,

real,

natural,

healthy,

*caring
community,*

*helpful
people,*

*relaxed
pace,*

reasonable,

nature,

harmony,

balance."

"Trading route"

"Rockhounding"

"Hub"

"Highlands"

- ☒ **history,**
- ☒ **landscape,**
- ☒ **important features,**
- ☒ **architecture,**
- ☒ **materials,**
- ☒ **scale, and the**
- ☒ **people...** of the community it serves.

The following sketch briefly examines these character - defining elements for Bancroft, developed largely from community commentary generated through the Design Dialogue process.

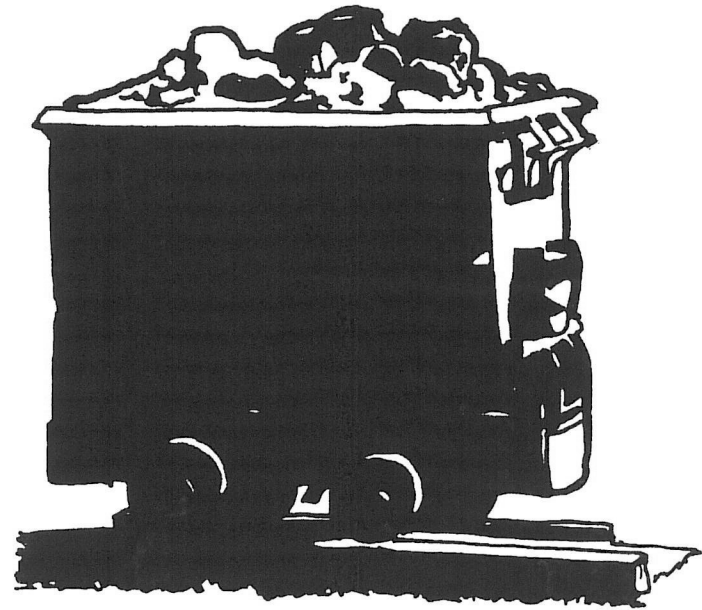
History ...

Searching for character clues through history adds authenticity and interest when developing a community vision. Bancroft is rich with history that should be kept alive and respected as our community evolves. Railroad, colonization, logging, and mining have all left their mark on our community over the years .

This history is a tremendous asset, from lessons to be learned in appropriate design, to many artifact, thematic, and story opportunities for today and for our future.

We have a limited stock of heritage buildings, which have helped to define Bancroft over the years. These structures belong to our community and are a valuable resource.

Unfortunately, at this point little evidence remains on the ground to celebrate these clues to Bancroft's character. Many recent developments seem sort of faceless - not much character to be found there ... But our history remains to be told, and can still give back to the community many lessons in character.



"Historical focus: Mining."

"Historic community, special lakes and rivers, centre of Eastern Ontario."

"Bancroft should tell its story in some way - colonization to logging to mining... i.e.. mural development."

Our relationship with our landscape ...

A critical component to Bancroft's character and context is the natural heritage surrounding our Town. It is our rugged landscape that has always drawn people to this community. Weaving more of those components back into Bancroft will go a long way towards rediscovering our Town's unique character.

Though not always convenient for laying out straight streets on, if we learn to work with our topography it can provide the Town with many excellent design opportunities. Many exposed rock cuts and faces exist around our town which should be respected as local assets.

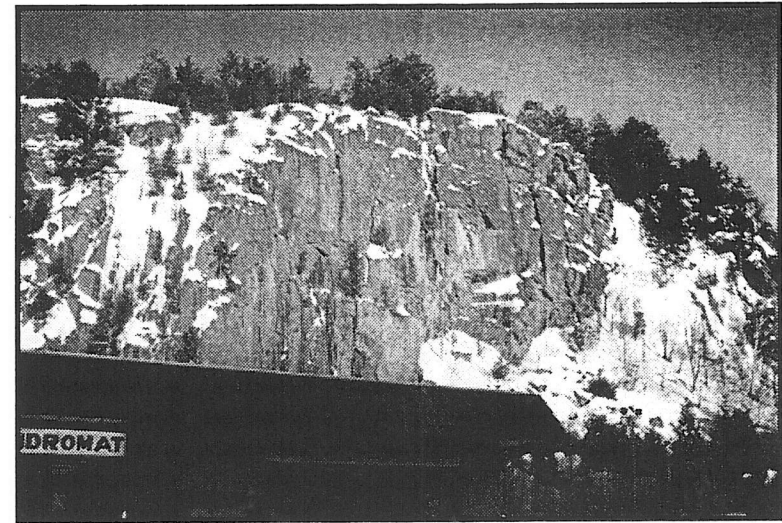
The 'framing' effect that our valley walls lend our Town is a valuable feature. Few communities can boast such a sight as our towering pine stands - without the support of a Group of Seven canvas ... But picture a typical hot summer day in Bancroft, amplified by all of our overpaving and a busy, dusty, main street . It doesn't require much imagination to see why our visitors just want to get through town and out into that landscape...



"Capitalize on big rock outcrops & maintaining a growing stock of big white pines - our heritage vegetation. "

"Towering TREES, not just pines."

Vegetation should be considered an intrinsic part of our townscape . It is as important to our Town's character as anything that can be constructed of brick and mortar. Vegetation and natural landscape offer interest, shade, aesthetic contrast and the many other benefits that we intrinsically feel for our landscape. 'Rock and tall trees provide excellent aesthetic punctuation for our Town. By opting for green instead of consistently choosing hard surface site treatments, the uncomfortable heat of summer in our community can be relieved and shaded. Vegetation and other organic landscape features provide opportunities for offsetting our buildings and enhancing spaces in a memorable manner. Indigenous is the key word here however. Bancroft character is not defined by ornamental species, turf grass, or dainty gardens ... Wild grasses, evergreens, wildflowers and hardy hard woods best characterize our Town .



"Bancroft should enhance its natural heritage & natural resource based future in any themes to be used."

"All of your ideas are good and would contribute greatly to needed improvement, but we have a problem. It is the (spot) our town is situated in. Rock is difficult to deal with."

People ...

Log-trucks rolling through town add a colour and dynamic that tells visitors that they are some place different; a place where the people are much closer to nature and the outdoors. A place where the people are self sufficient and independent - but will spend half a day helping you get your car out of the ditch !

The people of Bancroft enjoy a unique sense of community. That community includes anyone in the rural area within driving distance. They come into Town for the many social activities available, bingo to concert recitals. Bancroft is a community of energetic event organizers, volunteers, and more coffee-shop meteorologists than anywhere else !

Bancroft is a busy centre, bustling with tourists, cottage and rural area residents, and logging and lumber activity in addition to all of the standard services of any self sufficient Town. Because the largest variety of local activity is associated with the outdoors, Bancroft has a life that cycles closely with the changing seasons. This dynamic nature, and diversity of activity are fundamental to Bancroft's character and success.



"People come to Bancroft to 'get away from it all'."

"Friendly, quality of life, relaxed pace, fresh air, rural."

"Bancroft is ... a bunch of guys gathered around a wood stove talking about the mission to Mars..."

"Events' build character; support local business initiatives."

"Theatre: active live theatre groups have been here forever ! - when the Village Playhouse was the town hall ! & now we have a Playhouse that is the envy of many communities."

"Culture: Theatre, Arts, & Crafts."

"Bancroft as a home to artists should be stressed."

Building Materials ...

Bancroft has a traditional reliance on building materials that could be found close at hand. Today it is still the buildings that utilize these simple materials that look most like they belong to our Town.

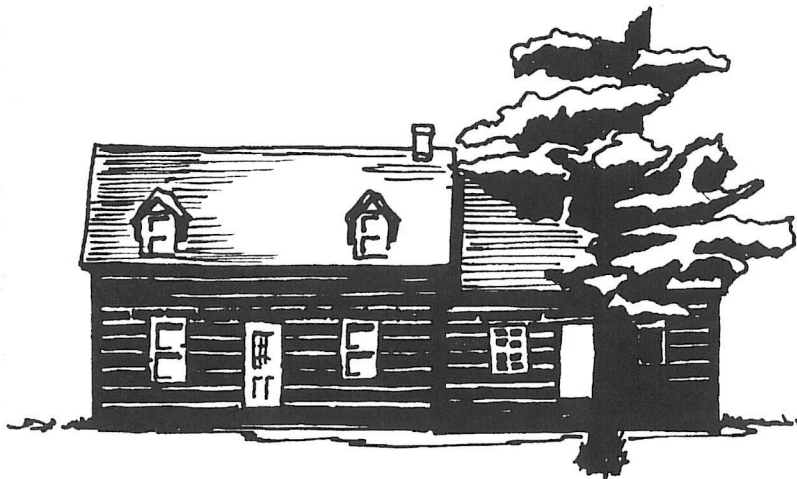
It is not coincidental that many North American communities are losing their distinct character. Universal building materials and construction techniques say little about where a building is being built any more. Unfortunately, Bancroft hasn't proven immune to these influences either: in recent years its development has largely discarded the proven techniques and materials that suited the locale, in favour of imported materials and styles.



"Building character - stone walls."

"Use natural, local building materials."

"Local materials: timber & rock. Not modern."



Building Styles ...

Buildings that seem appropriate to Bancroft use simple materials, present a human scale, and are designed for the climate. Cottage - style homes (and often businesses), driving shed type outbuildings and two storey, multi-use storefronts are typical to our Town.

Pitched steel roofs belong to our local architecture; shed roofs tapering back from the street, pitched roofs just barely hidden by a false front, mansard, and barn-style roof lines, punctuated by the odd church spire.

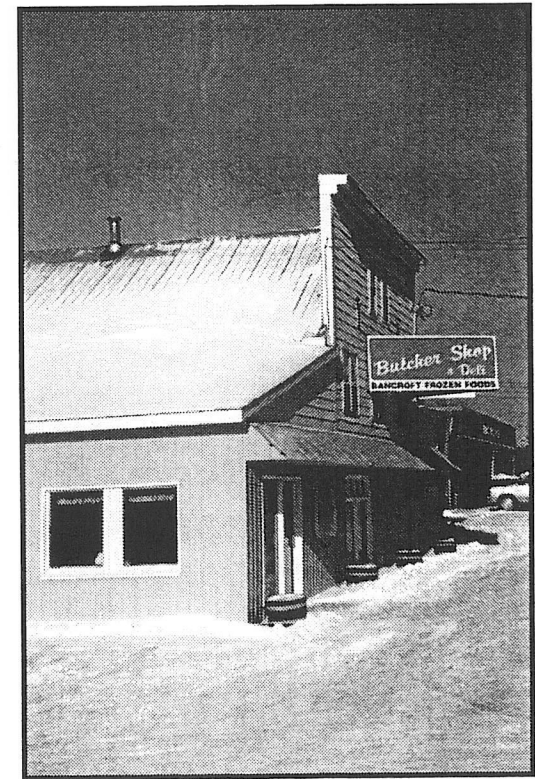
Porches, recessed entryways, and overhanging eaves are natural responses to the climate situation of our buildings. Indoor / outdoor space has always been an important feature to local architecture. Why do our new, maintenance-free style structures ignore this ? Do people not appreciate shelter from the elements any longer ?

Without the advantage of having designers and architects available, builders in the past were often left to 'crib' together the facades of many buildings . To their credit, what resulted in many cases has been simple, balanced facades which respect human dimensions and exhibit a natural sense of proportion. Unfortunately these structures are disappearing from our building stock, renovated beyond recognition or replaced with steel boxes.



"Bancroft should stick to one kind of building design, not putting old & new together it doesn't mix."

"Our 'home-grown' architecture should be preserved. It reflects Bancroft's frontier character."





Our more recent '*architecture*' tends to lack consideration for balance, geometry, and human scale. Prefabricated modules, 'standard' applications, and imported blueprints have taken much of the '*craft*' from builders, leaving products that can only be applauded for their cost-effectiveness or longevity.

Our buildings are a statement of our relationship with our climate, our landscape, and with our community. Those buildings that respect these relationships just naturally look appropriate; those that ignore these relationships tear at the fabric of our community.



"Building materials & design are very important for Bancroft to develop an identity."

"I think that Bancroft should go one way or the other; stay Rustic or Modernize. Because a modern building, besides an older building looks awkward."

"Stop 'Big Box Stores', ...would kill down Town idea."

"I like our simple, solid building style!"

"I see a clear progression of thought from 'history' to 'building style'. It was this that drew me to this community as a retirement location. I also noted however, that much of the potential had been allowed to go to waste."

Human Scale...

Respect for the human scale is essential to the overall design of a community. Human scale design is about making spaces that 'feel right' to the people using them. Walking distances, level of building detail, textures, materials, and relative scale of buildings and spaces are all elements that contribute to that feeling.

In the past, Bancroft was painted with a much finer brush; a much greater level of *detail* existed. Less unrelieved expanses of pavement, siding, and plate glass ; more trim, more textures, and more varied shapes. That level of detail, or *articulation*, is an important part of the character equation.

The first of our human-scale light standards and benches are a start to welcoming the pedestrian back into our Town.

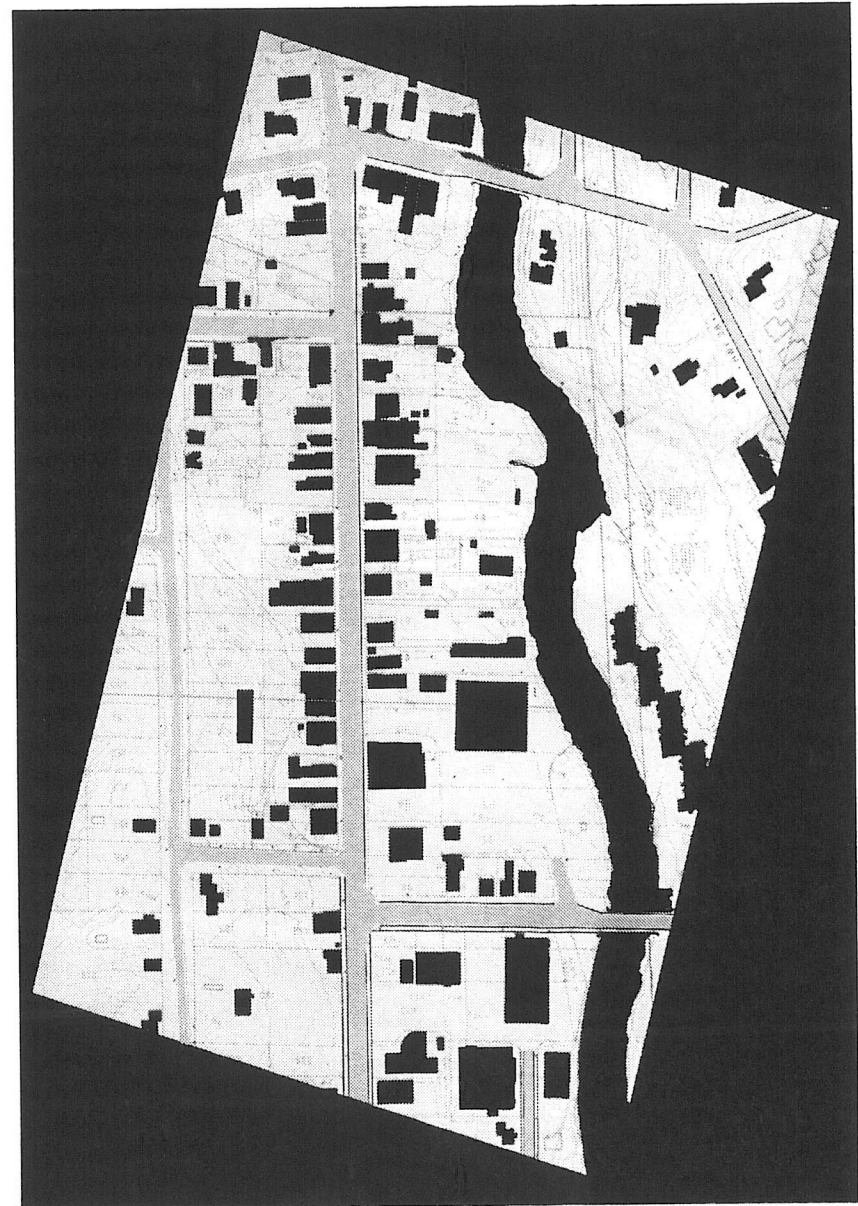


"Urban life, originally, was a writ of wit, a show of pomp, and a revel of occasion while all was still in human scale... not opposed to the course of normal human life in relation to natural beauty of environment."

Human scale density ...

The original survey for Bancroft's downtown set a certain density for the commercial area which has held the area together for many years . More recently, development has been directed out and along our highways . This sprawling effect is anti- community . It suggests that we can simply drive everywhere . When a community falls into this trap its people lose the spontaneous encounters, the exercise, and the efficiency of a true community . It divides a population, allowing full mobility only to those who have a licence and vehicle to drive. Those who do choose to walk to the outlying development feel like outsiders within their own community, often suffering unnecessary stress while walking along the soft shoulder of a raised highway with fast moving traffic. By ' *leapfrogging* ' development out along our access corridors, we invite disgruntled, impatient, through-drivers, inefficient use of infrastructure, loss of an appealing 'village' character, and unnecessary safety problems.

Successful communities are designed for *people* first, *vehicles* second - for good reason. In a vehicle, people don't like to stop until they get to their destination . This means that chance purchases and interactions aren't as likely . When walking, you are more relaxed, you notice more, and you are more willing to explore . All of these factors lead to better quality of life for citizens, and a more

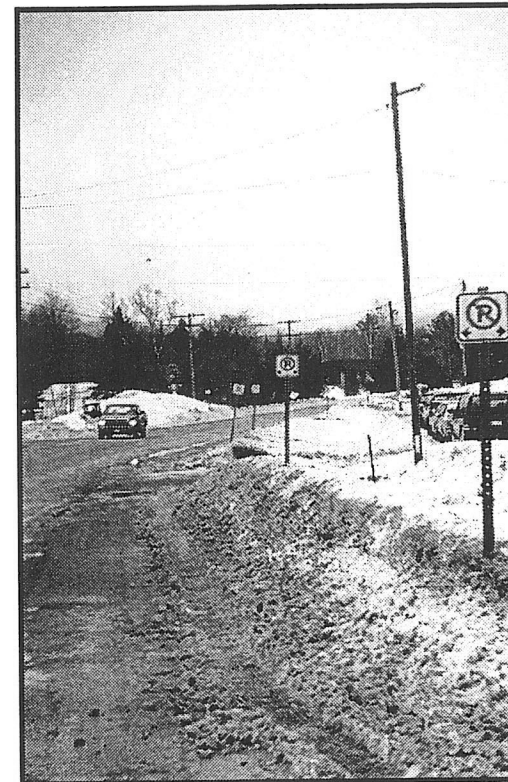


successful shopping environment for tourists - and merchants .

Our town is still barely hanging on to that 'village' character that people find appealing . We are a higher density 'urban' oasis amidst a large rural area - maintaining that character is highly desirable.

However, other than between Bridge Street and Station Street along Hastings Street, Bancroft currently has very low density commercial development. Infill development opportunities exist throughout Town, and should be encouraged, while 'strip' development choking our highway corridors should be discouraged.

Phasing development along our corridors at a speed that respects the actual growth, and not anticipated growth is extremely important as the community continues to evolve. When development occurs faster than sidewalk provision, it is a good sign that the physical threads of the community are unravelling. In a community the size of Bancroft "Highway Commercial" type uses aren't necessary or appropriate within its area.



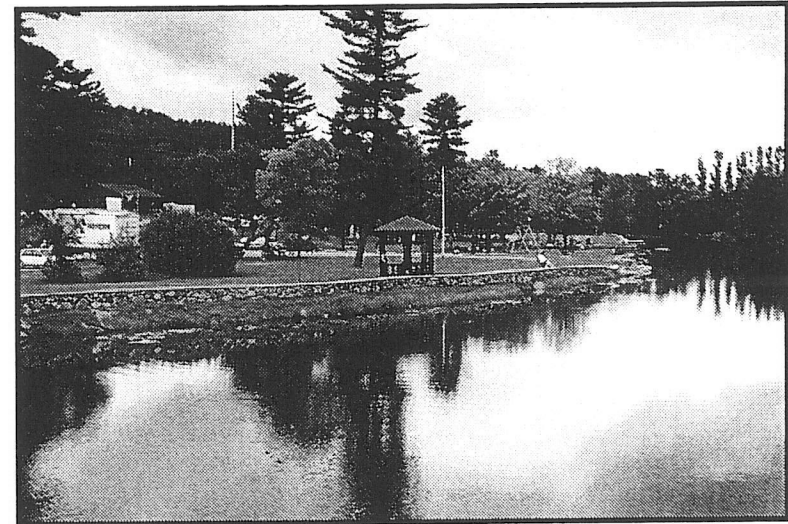
To develop beyond the place where sidewalk infrastructure disintegrates into highway shoulder is premature, dangerous, and character diminishing.

The York river ...

Many communities capitalize on water frontage far less spectacular than our River. It has served the village in the past for mill - power and transportation. Bancroft is built in a river valley; our most natural focus is the river axis.

Unfortunately, how we treat this potential asset often reflects how much we take it for granted. With the way the village has developed, visitors are often forced to enjoy it from a distance. The York River and the community of Bancroft belong to one another. The River is very much a part of Bancroft's character, and should be considered a critical part of its design.

Recent upgrades on the bridges have improved their appearance dramatically. The rhythm of lamp standards is appropriate for such lamps. While pedestrian accommodation is limited crossing these bridges, overall these structures can be considered design assets.



"Better use of River & Eagles Nest could be made."

"Area along the East side of River (behind stores) has such great potential for commercial & pedestrian walkway great area for small shops & cafe's."

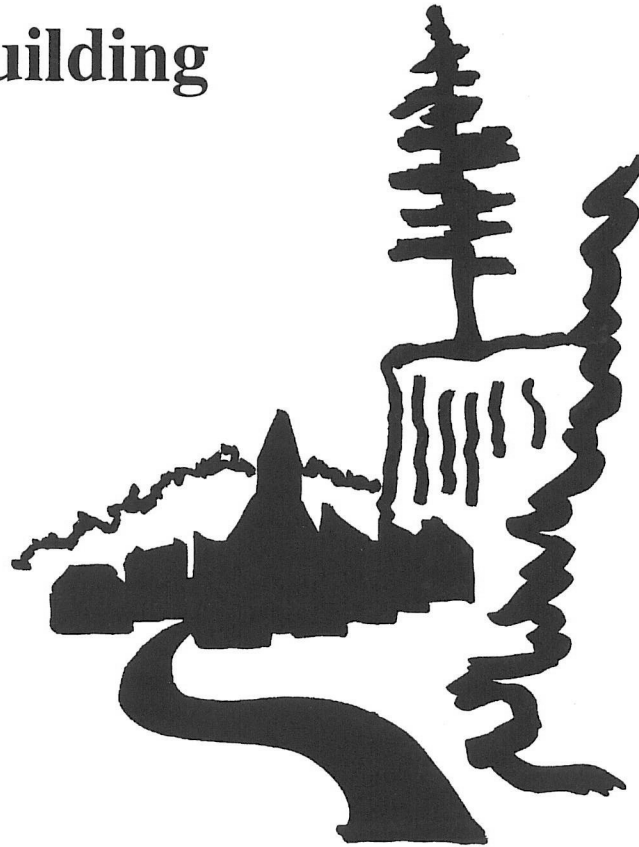
"The river is an ignored asset."

"Town is unique because of river setting and trails to wilderness all year. People come to play."

"River access should be improved."

"Mill town"

Community Vision Building



Guiding change ...

Community Vision Building ...

What is a community vision ?

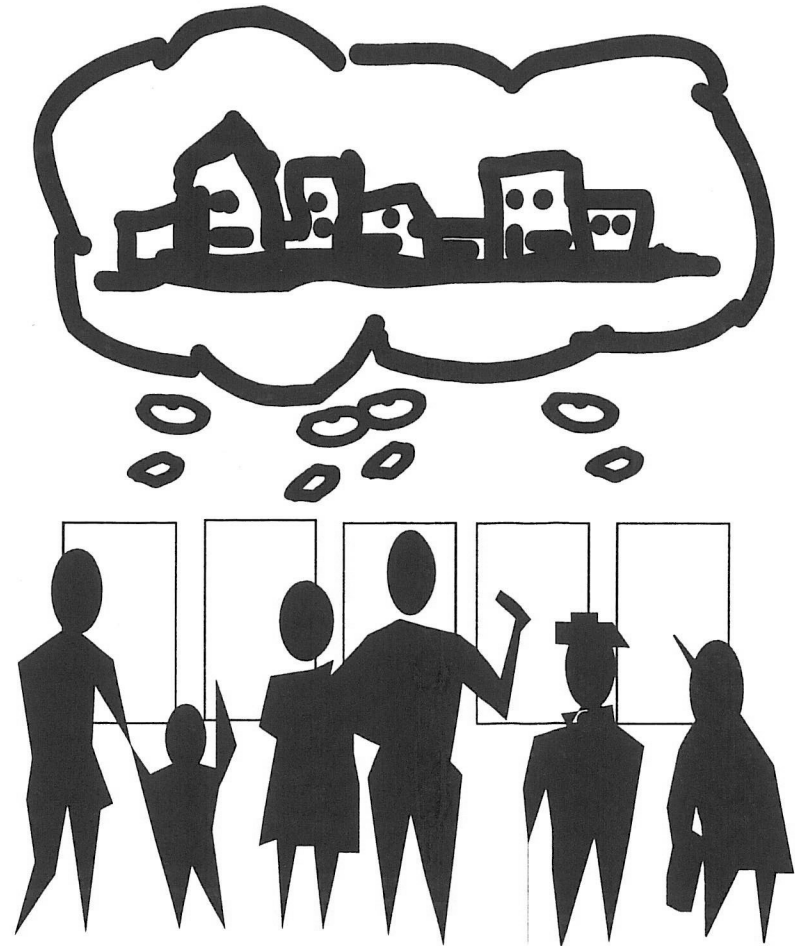
A community vision is an idea of what a community wants to become as it evolves. It is a point on the horizon that all decision-makers in a community can keep in mind when making design choices at any level.

Why vision build ?

Communities that know where they are going are often more successful in the long term. This is because resources are used more efficiently, community pride and involvement are enhanced, and a real, marketable sense of place can be achieved. This unifying tool is the key to creating places that people want to visit, revisit, and live in.

Who should develop the vision ?

The people living, working, and recreating in Bancroft are the community resource to its function and aesthetic. Its like a kitchen - the best kitchens are designed with the cook's involvement ! Facilitation and design support services have been provided throughout the Design Dialogue to stimulate discussion.

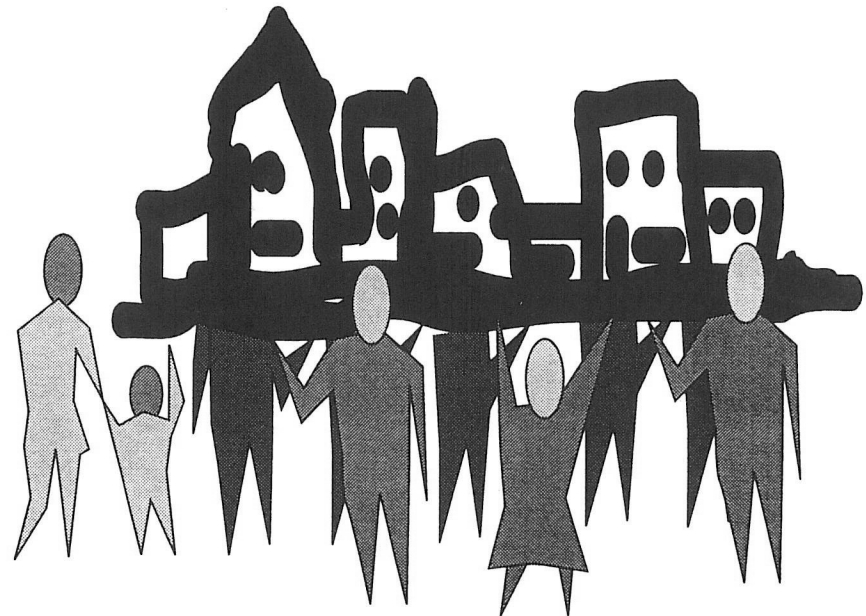


Vision Components:

Through the Design Dialogue, several fundamental touchstones to a vision for Bancroft have emerged.

General design goals defined by the community ...

- ✓ **Walkability**, "Bancroft should strive to make itself more walkable."
- ✓ **Rustic Village Character**, "Bancroft's rustic village character should be respected in its development."
- ✓ **Environmental Harmony**, "Bancroft's evolution should be balanced with the quality of its natural environment."
- ✓ **Human Scale**, "Bancroft should be human scale - in sign types, ground textures, building siting / size, etc..."
- ✓ **York River Valley**, "Bancroft should better respect the river as an important community asset."

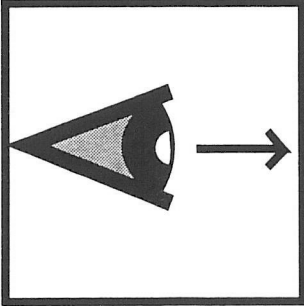


Visioning:

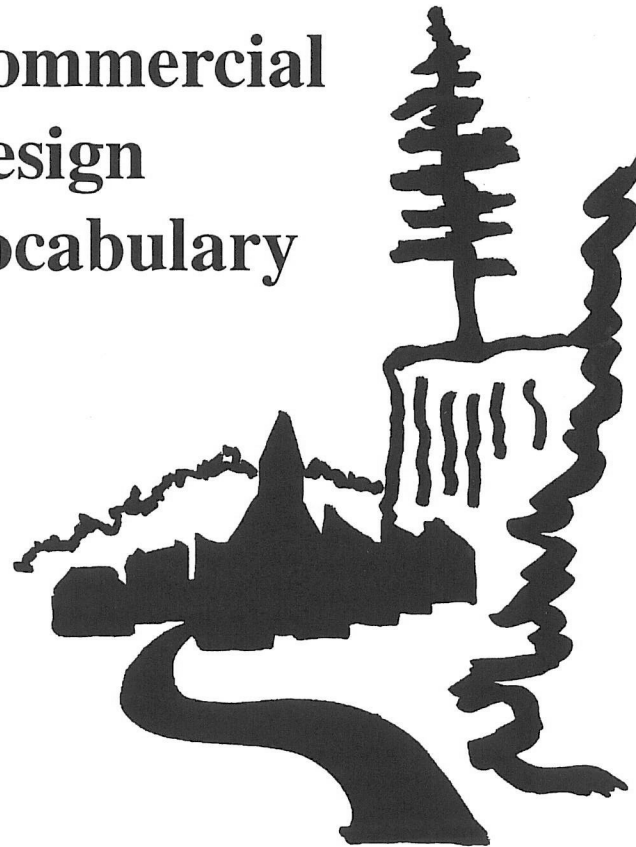
Can we develop a community vision for Bancroft ?

Yes, a clear mandate for a more community driven design framework has been one of the outcomes of the Design Dialogue; and the goals development and other community input can provide the initial direction.

Based on the Dialogue participation, a suitable community vision for our town would read something like ...

	<h3>Community Vision Statement</h3> <p><i>Bancroft shall strive to become a human scaled, walkable community with a rustic, village character celebrating its river valley situation and its relationship with its natural heritage. Dynamic, diverse, & compact, Bancroft shall provide a distinct experience that defines it as a special place for people to interact and visit.</i></p>
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A Bancroft Commercial Design Vocabulary



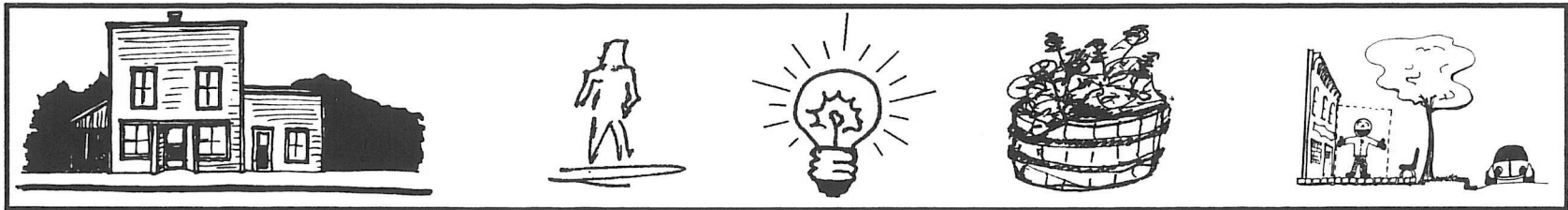
Individual design decisions impact
the whole community ...

A Bancroft Commercial Design Vocabulary

This design vocabulary is a recipe for appropriate new development and renovation of existing commercial property in Bancroft. It is a guide for individual property owners to assist them in establishing buildings and properties that contribute and benefit from being a part of a focused community. Communities evolve slowly, and it will depend upon developers and property owners to take a leadership role in that evolution. We all benefit from a focused community; but the commercial sector will also discover the favourable economics available to a community that cooperatively cares for its appearance and character.

The Design Vocabulary outlines a variety of key design elements affecting the appearance and function of individual property and their cumulative effect on the Town character. These design elements are laid out on the following pages:

- ☒ Overall site design
- ☒ Windows,
- ☒ Doorways and entrances,
- ☒ Building materials,
- ☒ Landscaping and vegetation,
- ☒ Access,
- ☒ Parking,
- ☒ Scale,
- ☒ Colours,
- ☒ Signage, and
- ☒ Alleyways and loading areas.



Information under each heading is laid out in three categories:

I Vernacular:

Vernacular refers to the traditional, natural, or fundamentally local influences on the aesthetic issue.

II Character Enhancing:

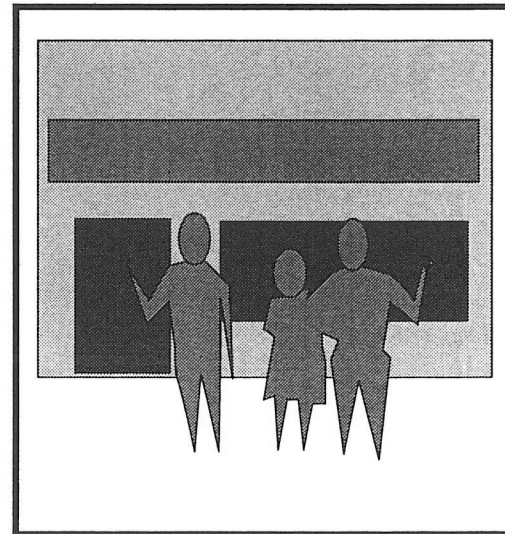
Character Enhancing items are examples of individual design decisions that would support, or improve the overall cumulative effect of the community image.

III Character Diminishing:

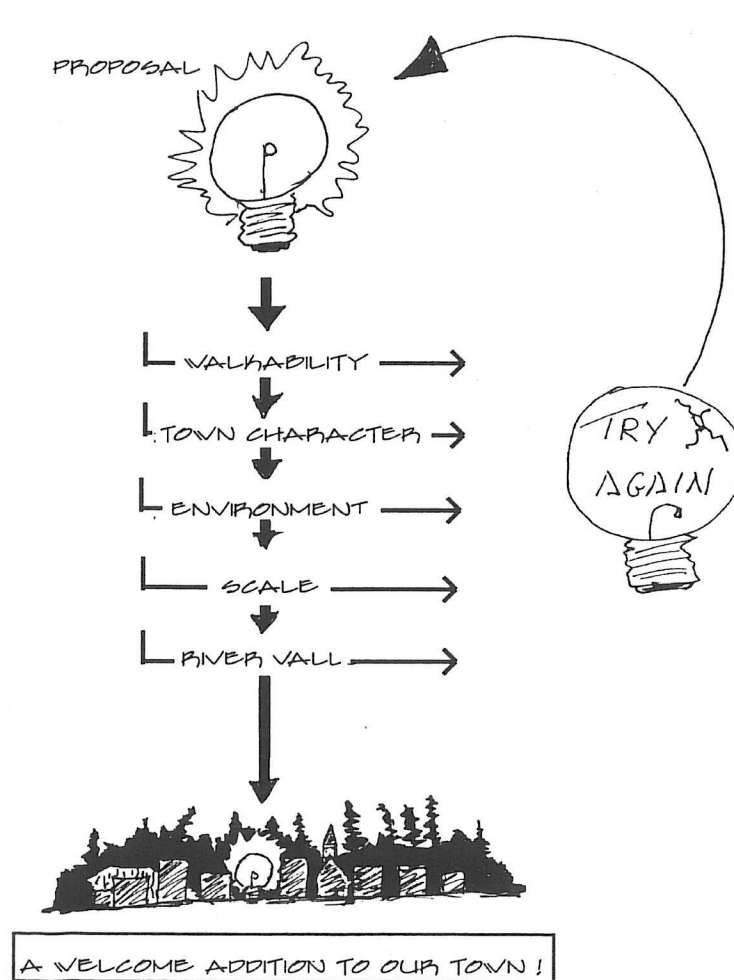
Character Diminishing of course is the opposite of *Character Enhancing*, suggesting decisions that are best avoided where possible.

It is well to remember that the function of this checklist is not to criticise past design decision making but to provide a guide for improvements.

All existing buildings and property require periodic upgrading and maintenance. It is at those times where the property owner has the opportunity to enhance their property's relationship to the community - and so benefit our community in the long term.



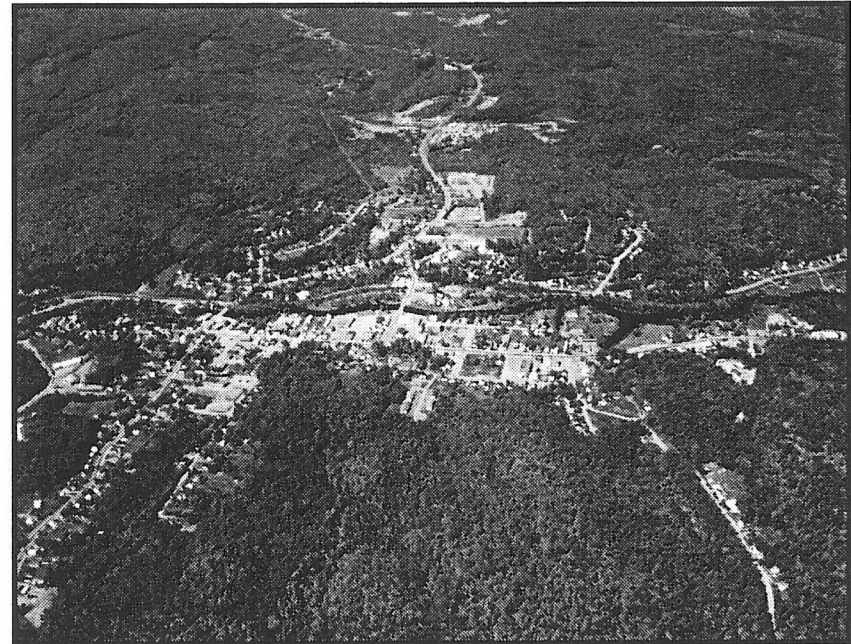
New development should feel a responsibility to fit into the community, support or enhance the Town character, and avoid introducing character diminishing design elements to the Town.



Overall Site Design ...

I Vernacular:

Our community is located in a river valley. This means several things to site design. It means that development will primarily occur parallel to the river corridor. It also means that our building sites are either on the valley floor, or on the flanking valley slopes, with the commercial development predominantly occurring on the valley floor. Our valley floor lots are generally level and sparsely vegetated, with some situated along the river. While respecting it, riverside development is generally focused away from it. Lots on the slopes of the York valley can be quite steep and rugged, with heavier vegetation, punctuated by towering white pine.

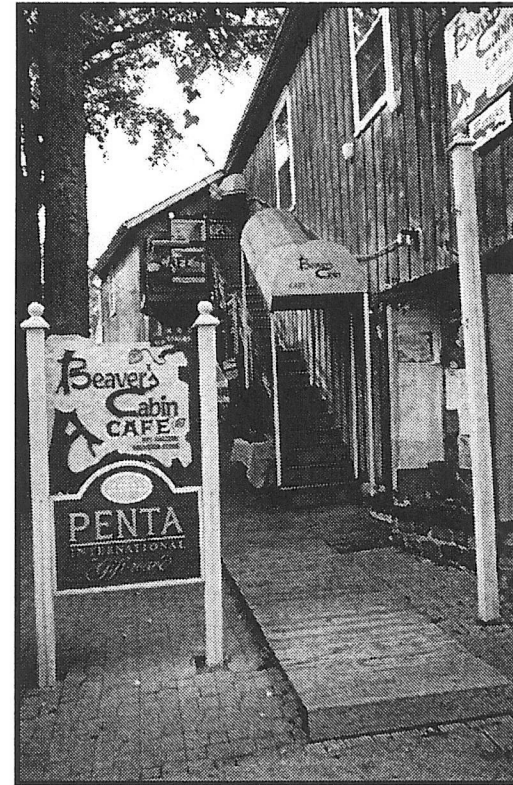


II Character Enhancing:

- ✓ *Utilizing natural lot features* - celebrating our rugged location - particularly native vegetation, river frontage, rock cuts and large boulders. Being creative with the assets of a site can really enhance its appeal and value.



- √ ***Watershed respect*** - respecting natural watershed function is important, i.e. drainage, infiltration.
- √ ***Pedestrian links*** - placing buildings along pedestrian corridors, separated only by semi-public green space, outdoor display space, outdoor patio or other dynamic pedestrian space. Being aware of how linkages to the pedestrian system, parking, and adjacent development work, and enhancing where possible.
- √ ***Multiple use*** - designing the site for multiple use - both vertically and across the site. Existing rear stable areas, for example, can make interesting artisan studios and shops, adding to the interest and value of an established property.
- √ ***Cooperative effort*** - partnering with adjacent property owners to develop supportive sites can offer many site design benefits.



Secondary uses to the side, rear, and above primary uses add to the interest and value of a site - both to the owner and to community dynamics.

III Character Diminishing:

- X ***Parking obstacle*** - separating a place of business from the pedestrian system with an intervening parking lot.
- X ***Sterile spaces*** - large, uninterrupted, unshaded, parking areas.
- X ***Front loading*** - front loading areas - particularly when large trucks are necessary.
- X ***Lack of green*** - lots with no accommodation for landscaping or vegetation.
- X ***Remote design*** - development designed in isolation from its site, and/or independent of consideration for its neighbouring properties, stands little chance of fitting into its situation, contributing to the image of the community, or benefiting from partnering opportunities.
- X ***Lot clearing*** - lots cleared and levelled on speculation: experienced developers are now realizing the value of retaining original vegetation and landscape features to enhance the appeal of the site, and to keep future landscaping costs down.



"Building form and siting - we need to build in harmony with situation. Trend to 'level' site before building needs to be resisted."

Windows ...

I Vernacular:

Windows in Bancroft need to be climate responsive - no larger than necessary and weatherproof. They are traditionally human in scale, and respect building and storey geometry.

II Character Enhancing:

Ground level

- ✓ **Human scale** - lower sill thigh - height above ground. Possible integral or added pane division - adding wooden moulding to the interior and/or exterior of an existing plate glass window mimics a multi pane window, adding detail and making a large window friendlier and more inviting. Window bays should generally be less than 6 feet in width.
- ✓ **Shade provision** - a variety of awnings and storey stringer overhangs provide shelter in front of display windows.



Creating a composite looking window from a large plate glass display window adds character and interest to a storefront.

- ✓ **Transom detail** - possible transom lights (smaller windows above main windows or door).
- ✓ **Detailed** - Articulated trim (i.e.: three dimensional relief); especially at sill and transom (top).

Second storey

- ✓ **Geometric respect** - rectangular in shape, with a portrait - orientation,
- ✓ **Rhythmic** - complements the geometry of the second storey (typically two windows for an average local bay width).
- ✓ **Compounded** - divided into two or more panes - multiple panes add interest and detail to a building.
- ✓ **Well defined** - heavy - silled to ground the window in the facade. Also exhibiting trim distinct from the exterior material of the building.
- ✓ **Climate responsive** - slightly recessed and protected with a drip moulding - moulding can even be exaggerated for effect.



Portrait oriented rectangular windows, respecting the geometry of the building.

III Character Diminishing:

Ground Level:

- X **Glass walls** - window 'walls' of steel and glass - many modern structures take advantage of their steel construction by creating a two or three sided box, enclosing a steel, plastic, and glass street frontage. This is common to institutional structures such as banks. With a little effort, these structures can regain their dignity and contribute significantly to the Town image.

Second Storey:

- X **Lack of geometry** - square to landscape orientation, like the picture windows commonly found in the living room of a bungalow, usually don't contribute to the balance of most two storey commercial structures.
- X **Sunken windows** - small, heavily recessed square windows seem to be common to the second storey of 'box' structures - if windows appear at all. The effect is sinister, unflattering and best avoided.



The cold, modern "Bay Street" look ignores local character in small communities. More considerate designs can become anchor points in the Town fabric.



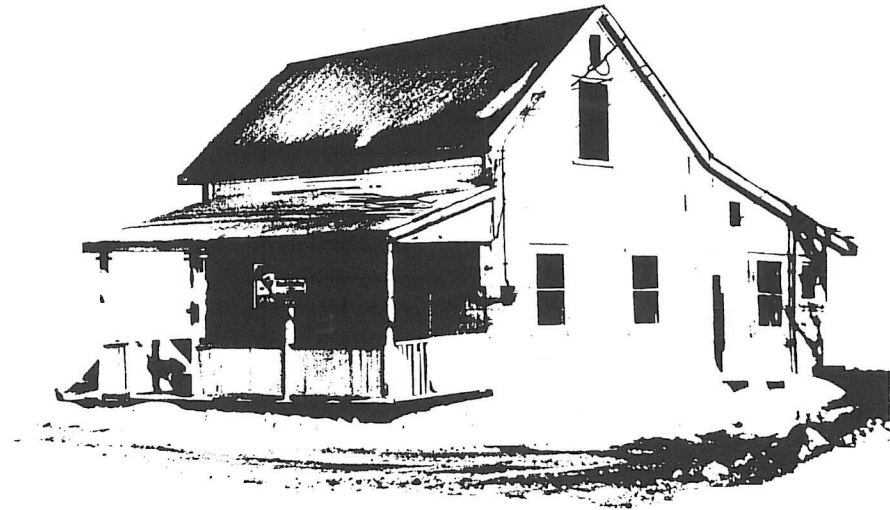
Doorways and Entrances ...

I Vernacular:

The Bancroft vernacular, with respect to entryways, means a comfortable transition for pedestrians, between indoors and out, including protection from the elements. It respects the problems of outdoor clothing adjustment, including muddy / snowy footwear.

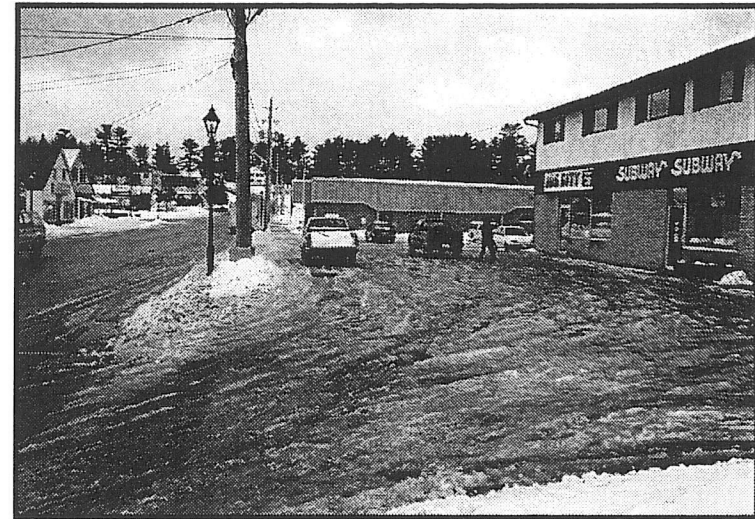
II Character Enhancing:

- ✓ ***Pedestrian connections*** - clear connections between entrances and pedestrian thoroughfares. A pedestrian should not feel inconvenienced or unsafe in order to access a building.
- ✓ ***Climate - responsive*** - Recessed doorways or protecting features such as awnings or porches.
- ✓ ***Human scale*** - entryways that do not dwarf human dimensions.
- ✓ ***Accessibility*** - at-grade access, or ramped if necessary for wheelchairs, strollers, the injured or elderly.



III Character Diminishing:

- X *Lack of protection* - flush-mounted entries without drip / snow protection.
- X *Vehicle barriers* - vehicle parking located too close to entry, or intervening between sidewalk and doorway.



This parking lot demonstrates lack of pedestrian connection between the sidewalk and the entrances businesses.

Materials ...

I Vernacular:

Building materials that stem from Bancroft's traditions and geography lend the community that local flavour that contributes to its sense of place. These materials are the simple, available materials found within the region. It is only the crowning accents, if any, that can claim origins in other locales.

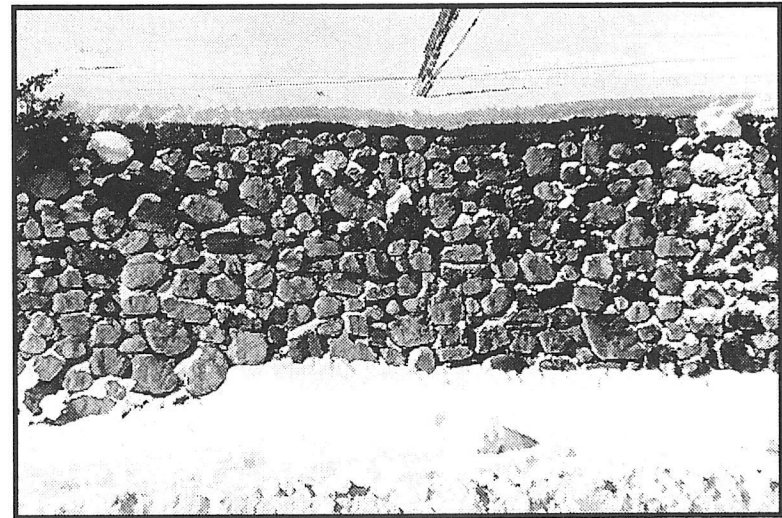


"Use local wood and stone in buildings"

II Character Enhancing:

Exterior Materials:

- ✓ ***Local materials*** - natural materials such as rock walls, wooden board and batten, clapboard, or tongue and groove offer the most character enhancing opportunities for exterior cladding (mixed approaches offer an even wider variety of applications Other possibilities for the exterior could include wooden shingles, logs, or a variety of brick and stone applications,



Roof Materials

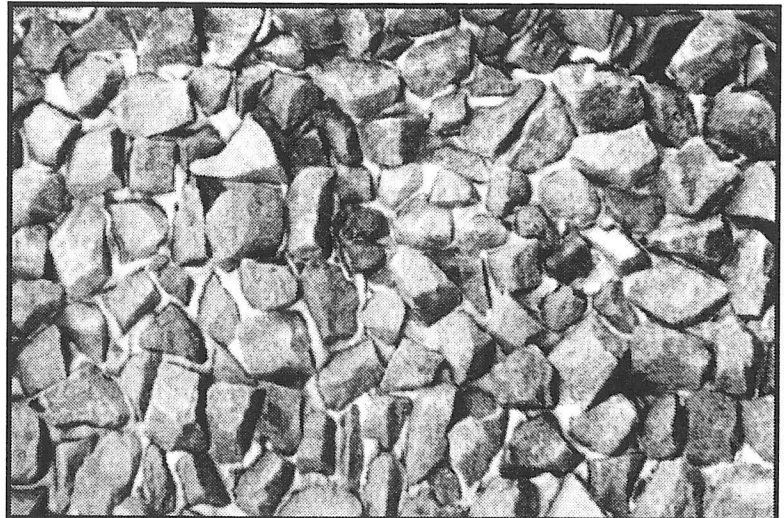
- ✓ ***Steel & shingle*** - roofing materials that most reflect Bancroft's character are corrugated steel and wooden shingles, though asphalt shingles are an effective neutral application.

Ground Materials

- ✓ ***Texture*** - textured ground materials such as brick, flagstone, gravel, and even rough-textured cement.



Texture in material choice and application creates a more interesting experience to the eye than flat, even alternatives



III Character Diminishing:

Exterior Materials

- X ***Modern / industrial*** - exterior treatments that negatively affect the character of Bancroft are the various industrial siding, plastics, glossy tiles, stainless steel, and other ultramodern and industrial materials.

Roof Materials

- X ***Tar / gravel*** - tar and gravel aren't a character-diminishing material on their own merits, however they indicate the use of flat roofs which do not respect Bancroft's vernacular style.

Ground Materials

- X ***Unrelieved asphalt*** - asphalt overpaving and patch work, particularly where unnecessary, creates a bland, ugly ground plane. Areas that don't see regular heavy vehicle traffic are usually better treated with another surface material or used in a different manner.

Material	% approval	% disapproval
Brick	100 %	0 %
Aluminium Siding	18 %	82 %
Vinyl Siding	36 %	64 %
Wooden Clapboard	98 %	2 %
Stainless Steel	14 %	86 %
Corrugated Steel	13 %	87 %
Stucco	76 %	24 %
Stone	95 %	5 %
Steel Panels	2 %	98 %
Plastic	4 %	96 %
Glossy Tiles	24 %	76 %
Cinder Block	30 %	70 %
Wood Sheeting	21 %	79 %



This materials chart might help material selection by indicating how a crosssection of residents - your customers ? - responded to this sample of existing exterior materials

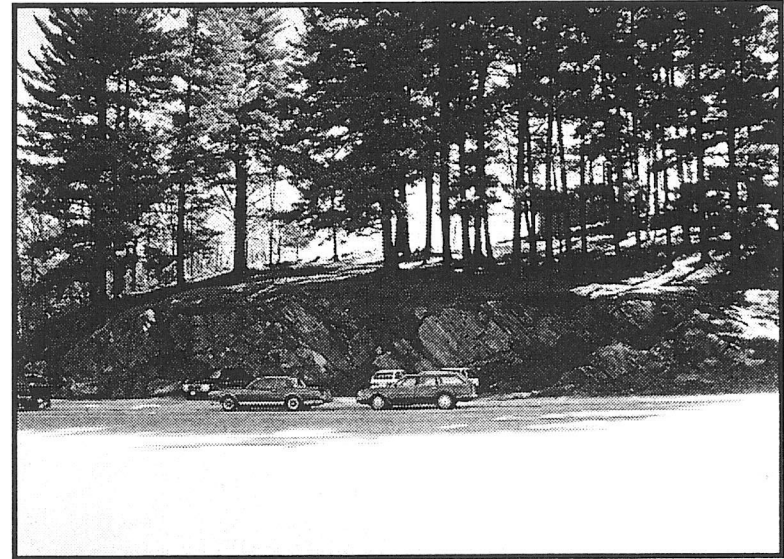
Landscaping and Vegetation ...

I Vernacular:

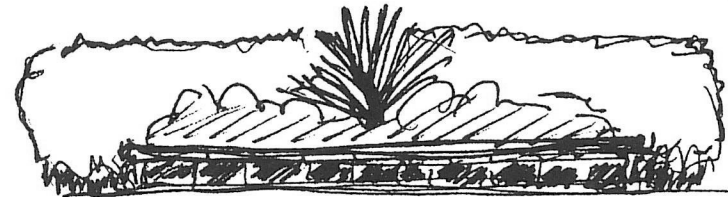
Bancroft's vernacular landscaping is easy to find - it is the rugged beauty of the bushland surrounding the Town. It is this natural heritage that is intrinsically linked to our community and its evolution. To benefit even more from the presence of this natural heritage we should reintroduce more of that rugged flavour into our Townscape.

II Character Enhancing:

- ✓ ***Rock gardens and accents*** - in Bancroft we have no shortage of rock material to experiment with. Paving, walls, stairs, punctuation, sculpture, even curbs and furniture are examples of how Bancroft's image could better live up to its marketing as '*mineral capital*'...
- ✓ ***Indigenous planting*** - native vegetation species are naturally most appropriate, most likely to do well, and most readily available,



- ✓ **Green 'carpet' alternatives** - using native ground covers where turf grass isn't necessary - turf grass is the 'green' with the least overall character and environmental benefit,
- ✓ **Leftover spaces** - utilizing leftover spaces and unusable slopes as planting opportunities,
- ✓ **Maintaining a mature canopy** - preserving existing in-Town canopy for as long as possible, while introducing new canopy trees on an ongoing basis. Mature trees lend a community that well - established feeling, shade, organic shapes, and contribute to a balanced environment,
- ✓ **Diversity** - Diversity of landscape elements and vegetation,
- ✓ **Creative greening** - creating addition planting opportunities - window boxes, planting islands, 1/2 barrels, wall climbing / overhead structures for vines, etc...



III Character Diminishing:

- X *Lack of green* - sites without any vegetation or landscaping provision,
- X *Lack of relief* - sterile landscapes with little punctuation or diversity,
- X *Over - paving* - paving over leftover spaces that could otherwise be used for interesting accent.



Large, uninterrupted parking areas are sterile voids in our urban fabric. Ease of snow removal is a pretty lame excuse in July, when the surface is screaming hot and dusty.

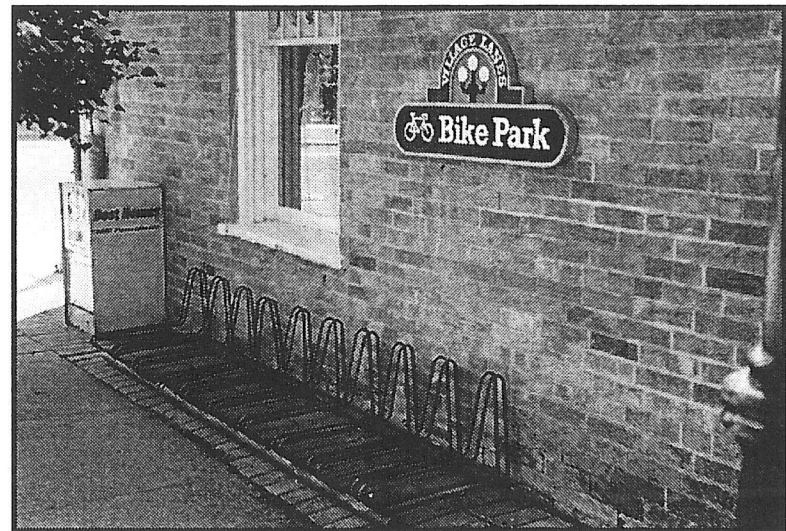
Parking ...

I Vernacular:

Where a business requires parking facilities in Bancroft, they are best designed in small segments without detracting from the business, the community, or pedestrian interests. Pedestrian amenities are important in parking areas because, unlike common application, parking areas are pedestrian spaces. Vehicles are secondary to the comfort of their occupants and other pedestrians. Therefore, these spaces should be human friendly - movement should occur at human speeds, sidewalks should be integral, shade provided, appropriate lighting etc...

II Character Enhancing:

- ✓ *Pedestrian links* - clear pedestrian connections to adjacent spaces and activities,
- ✓ *Cycling provisions* - providing visibly located bike racks with locking opportunities,

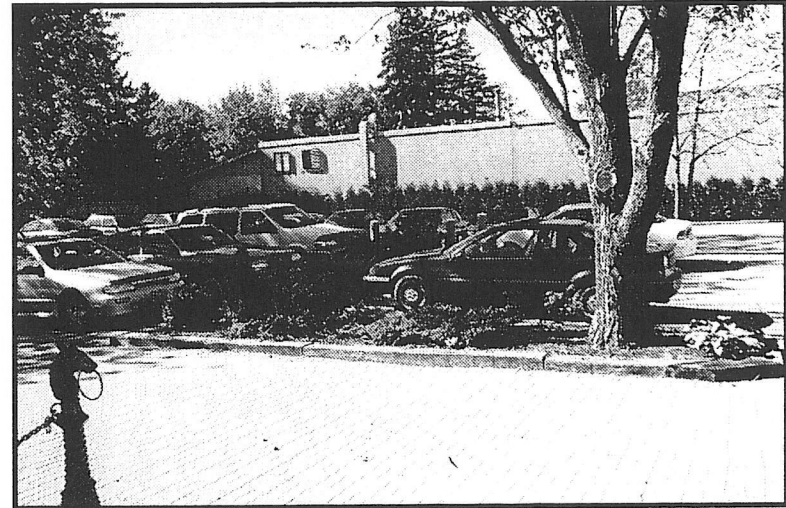


Bike Park in a plaza in Markham village.

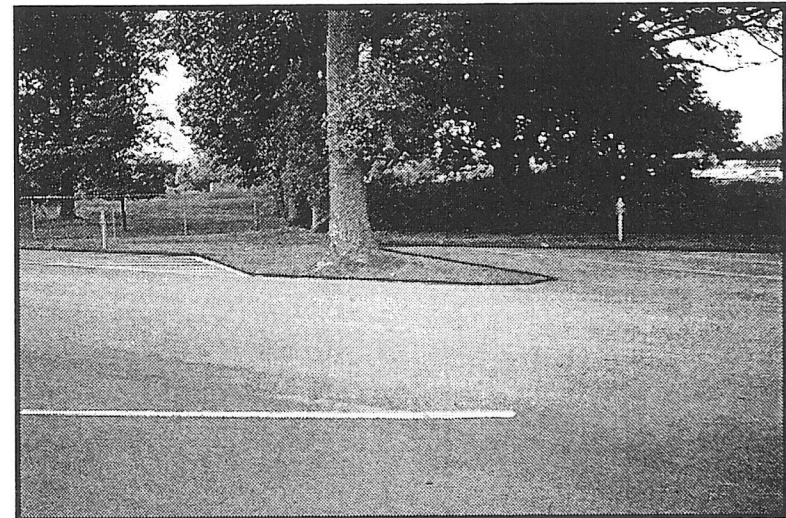
- √ ***Locating parking and loading*** - off-street parking and loading accessed from side streets and located behind, or to the side of a commercial structure.
- √ ***Amenities*** - appropriate curbing, lighting, and other amenities are important to successful parking provision,
- √ ***Alternative surface materials*** - where possible using gravel, screenings, pavers, etc... for variety,
- √ ***Leftover spaces*** - careful selection of areas to pave and effective use of remnant spaces as planting or accent opportunities,
- √ ***Shade provision*** - laying parking spots out beneath existing shade trees, or providing space for new canopy trees.



"Common rear parking and loading organization is very important."



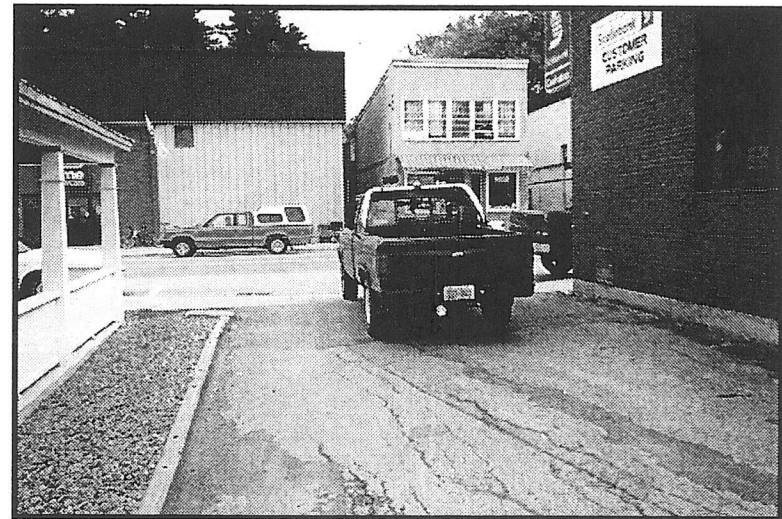
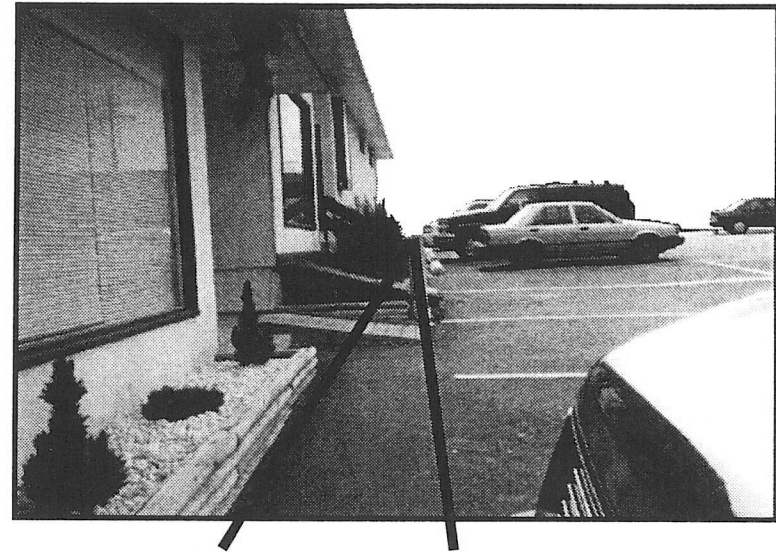
Note textured alley, curbing, islands and shade trees.



Taking advantage of existing trees when installing a parking lot is inexpensive and effective.

III Character Diminishing:

- X ***'Perimeter' parking*** ... There is a pattern in our Town, of parking spots butting right up to the sides of buildings and walls. This is often undesirable, as it leaves wasteful expanses of paving behind the vehicle and encroaches on the valuable space against the structures. In many instances, this *'perimeter'* parking even blocks access to the buildings it is supposed to serve. Drivers do become pedestrian at some point. With a minimum of design and capital, these spaces can be turned into assets. They can usually be better-used for pedestrian access and green strips.
- X ***Alley-to-rear parking*** - is community 'function' diminishing. A contributing factor to the congestion problems of Hastings Street is the number of blind alleyways feeding out onto the street and across the sidewalks. Safety issues, driver and pedestrian stress, and loss of on-street parking are a few of the difficulties that arise in this situation. Linking rear areas of the downtown in order to minimize downtown connections to Hastings Street is a design challenge for downtown property owners. The benefits include better loading access, more convenient customer parking, and less stress on Hastings Street vehicle and pedestrian movement.

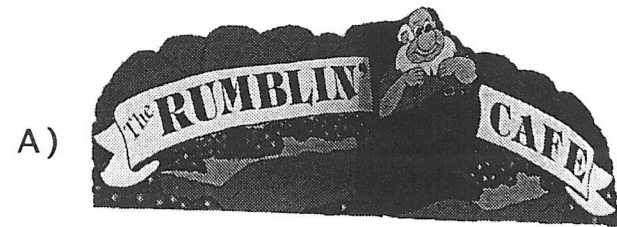


Signage

I Vernacular:

Signs in Bancroft that are most suited to our Town are those that respect our community character, are uncluttered, and show some creativity. Through the Design Dialogue, the community was asked to select all of the signs that they considered appropriate to our Town from a collage of local commercial signage. The response was remarkable in its consistency - there was almost no examples from the sample that received mixed response. The three examples highlighted here, were selected most often as being most appropriate for our community.

Rooftop, backlit, elevated, neon-coloured, cluttered, and portable 'insert your message here' signs received consistent disapproval from participants.



These types of commercial signs are considered most appropriate to Bancroft by Design Dialogue participants.

II Character Enhancing:

- ✓ ***Creativity*** - above many other factors, creativity and craftsmanship lend a sign distinction and character.
- ✓ ***Frontlighting*** - lighting cast upon a sign, instead of illuminated from within, offers a wider variety of options and more contribution to business and community character.
- ✓ ***Human scale*** - signs should be designed to be viewed by the walking public. Simple, graphic enhanced, textured signboards of a modest size are characteristic of human scale signage. Such signs provide a friendly, established image consistent with Bancroft's character.
- ✓ ***Respectful of building to which it belongs*** - when the shape, size, style, and location of signs on a commercial building respond to the characteristics of the building a character - enhancing effect is usually created.
- ✓ ***One sign per business*** - a single sign when well-executed is more effective than a barrage of signage, contributing positively to the overall image of the business and the community as a whole.



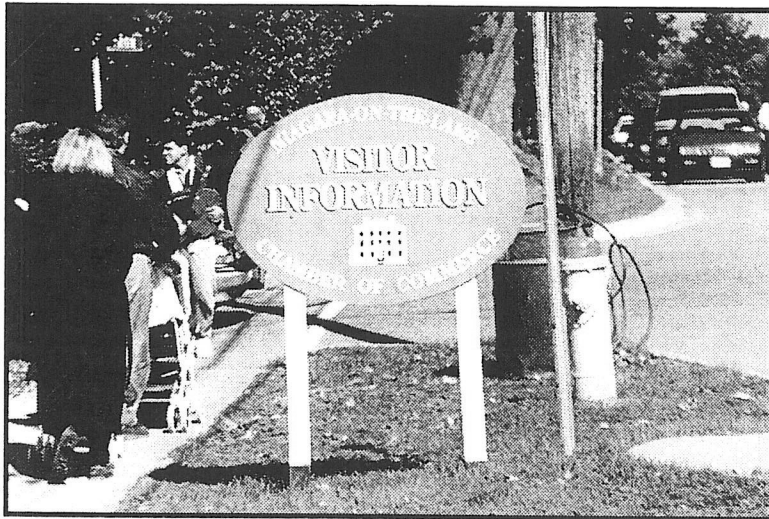


3 dimensional relief, classic look.

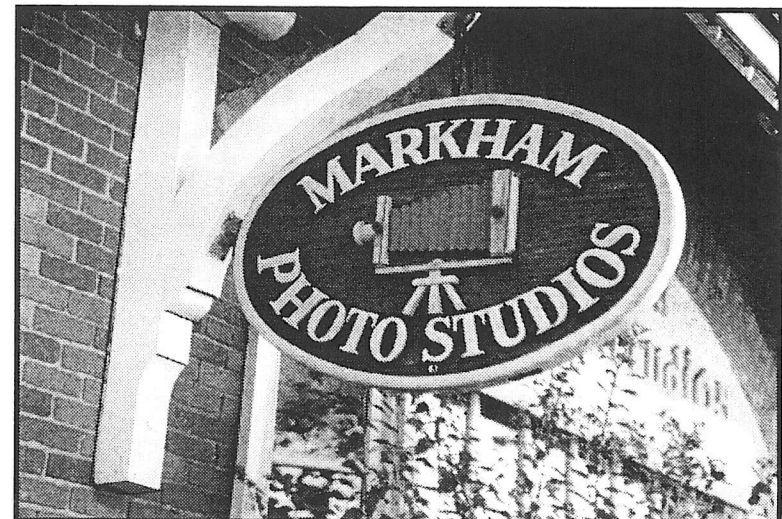


Simple, well-defined character and relief.

Moving away from rectilinear signboards.



Human Scale, effective use of small sign area.



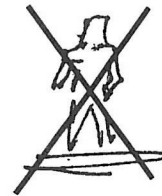
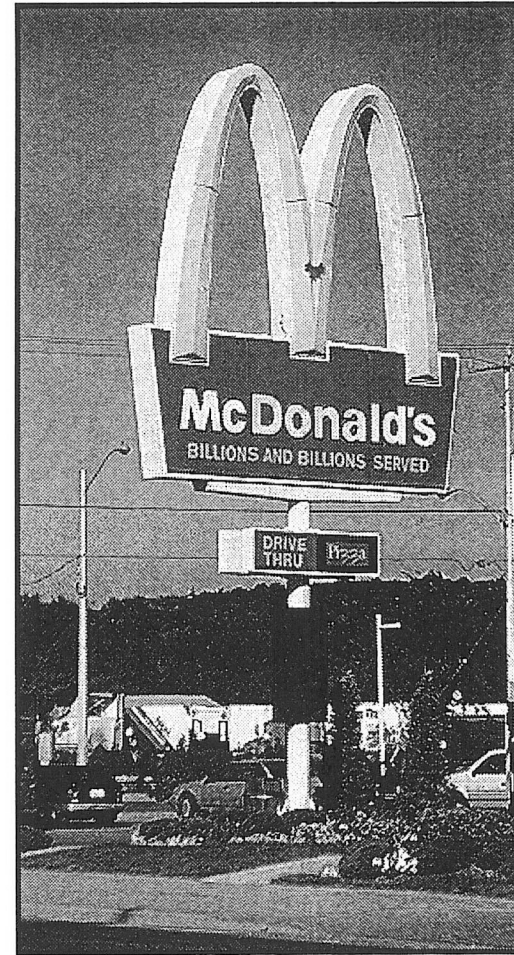
III Character Diminishing:



"Sign mess is an eyesore now - we need to decide on what is appropriate... SOON!"

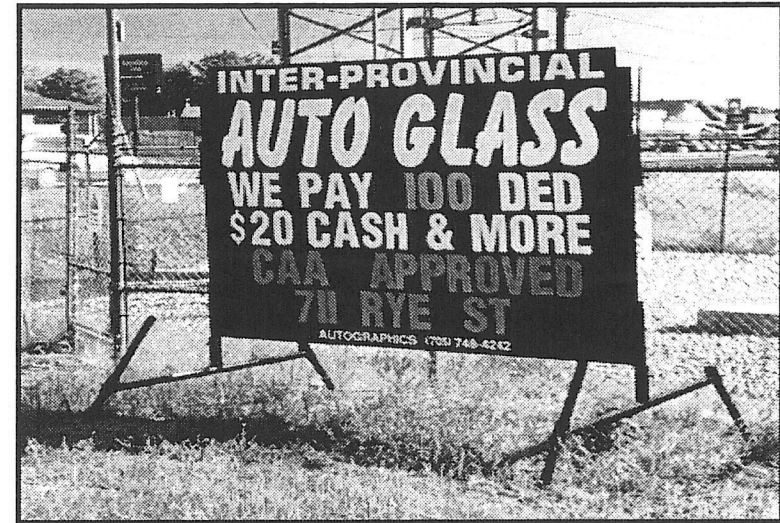
- X **Sign clutter** - phasing out of 'overkill' signs and sign clutter will take time and understanding of the overall effect and benefit of community - coordinated sign efforts. Secondary signage can be difficult to coordinate and often diminishes the value of a main sign. Perpetual 'sale' signs devalue their effectiveness, and stores attempting to advertise everything that they retail specifically with multiple signs rarely project a flattering or effective image of the business.

- X **Towering stature** - signs erected on rooftops, 'lollipop' elevated signs and billboards are all overkill sign types for Bancroft. Bigger and higher is an unsophisticated and unnecessary ploy that damages the image of the community.

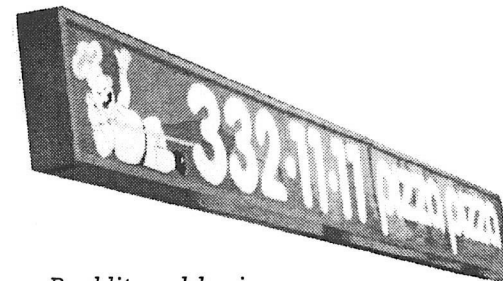


Franchise 'strips' usually demonstrate mechanical scale, loud, dominating signage. Such designs are inherently placeless, ignoring the scale and character of a community for its all important marketing image.

- X **Garish sign colours** - while contrast can be effective in signage, the introduction of bright, 'pick-me, PICK-ME!!!' colour volumes can easily project an undesirable image. While signs can be likened to fishing lures, the general public often responds better to signs of a more subtle nature than a neon spinner with hooks bared....
- X **Dominating size** - letters larger than 8" high or signs occupying more than 5% of the ground floor facade area are unnecessary and character diminishing.
- X **Portable towed signs** - the 'insert your message here' signs that used to be rented to advertise special events over a short term are now often seen as permanent fixtures in front of some businesses. Portable signs can be bought or rented with changeable messages in the brightest neon available... The problem is, they all start to look the same - and who could be bothered reading them anyway ? Their portable nature often gives the impression of a temporary commercial activity.
- X **Backlit signs** - signs of coloured plastic illuminated with fluorescent light from within are a bland, blinding sign treatment that rarely contributes anything to the image of the business it serves or the community it is located in.



*Letters come in four bright neon colours too - so you can shout your message **louder** than your competitor !!!*



Backlit and boring...

Colours ...

I Vernacular:

While difficult to demonstrate without a spectrum of colour chips, the descriptors in this section should provide an indicator of the spirit of appropriate colour application.

Friendly warm colours inspired from nature's palette or simple, neutral colours seem to belong to our community. Flashy, bright colours introduce an alien, jarring effect on the viewer, at odds with Bancroft's own character.

II Character Enhancing:

√ *Natural colours* - greens, earth tones.

√ *'Heritage' colours* - rich and understated.

III Character Diminishing:

X *Neon, 'electric' colours* - wildly contrasting, flashy, garish, metallic, artificial...

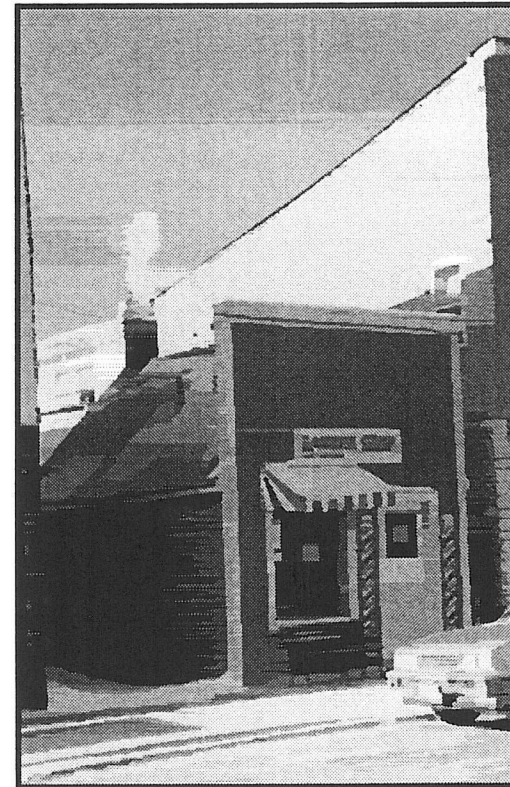
Scale ...

I Vernacular:

Cottage-like, huddled together for mutual support, function driven, simple details - these ideas describe Bancroft's own scale.

II Character Enhancing:

- √ **Articulation** - human scale details such as trim, awnings, and details that have to be appreciated standing still or at walking speed.
- √ **Rhythm** - breaking large storefronts into segments with detailing to make them more palatable to the eye.



This local barber shop demonstrates true human scale at a fundamental level.

III Character Diminishing:

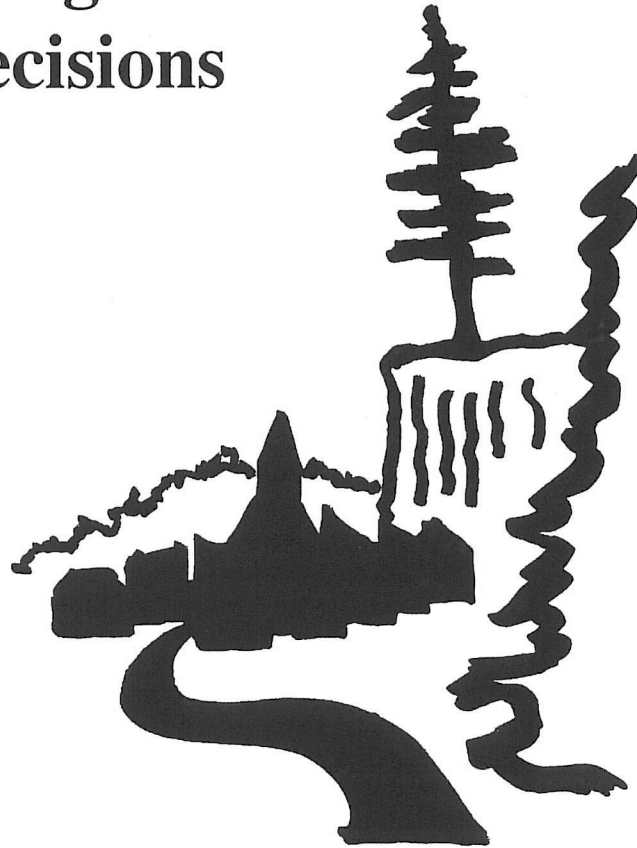
- X **Oversized buildings** - 'Big box' type structures, designed as a single, metal box, standing alone in a vast parking lot is an imported design that is considered overkill and anti-community even in large cities.
- X **Sterile ground plane** - Large hot, dusty expanses of paving are lazy designs even by mechanical scale standards - and positively unfriendly by human scale.
- X **Highway sprawl** - Sprawling 'highway' style development - our Town is a community, not a collection of businesses along a highway. Strip malls are difficult to keep occupied because they are so anti-community and mechanical in scale.
- X **Over sized facades** - Large, uninterrupted facades without significant texture, geometry, or detail to lend it human references.



"Avoiding new monstrosities in building style is very important."



Town-level Design Decisions

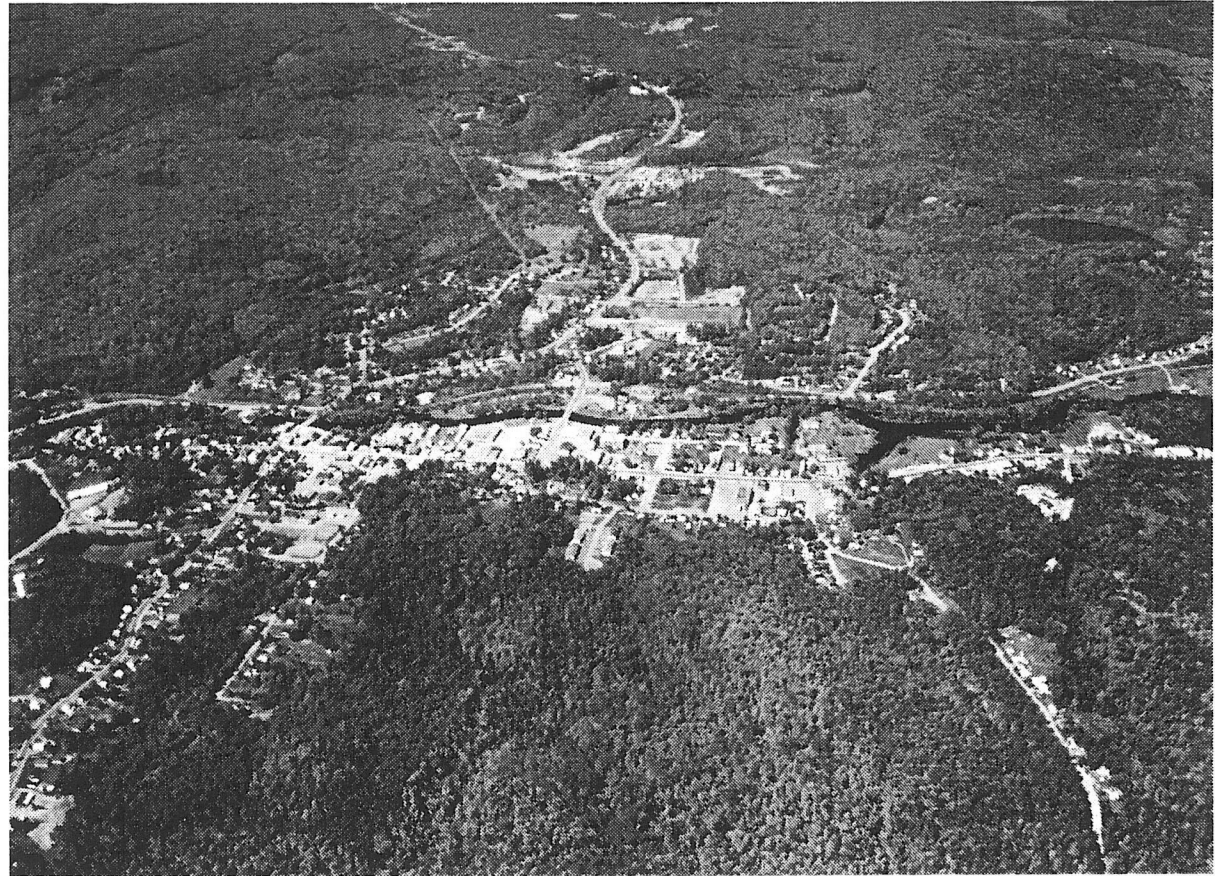


Developing Community Focus
for Bancroft ...

Town - Level Decision Making ...

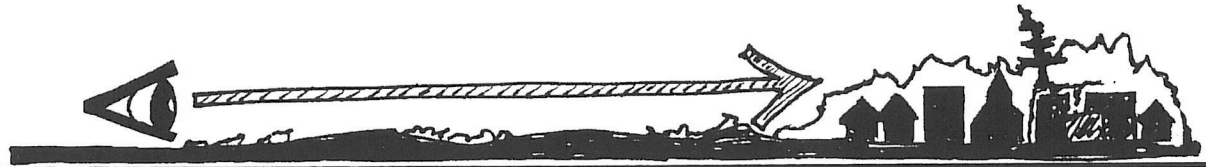
Town - level decision making occurs through various local bodies such as the Business Improvement Area, the Community Development Corporation, the Chamber of Commerce, the Utilities Commission, and Town Council.

In a small community, particularly in times of fiscal restraint, it is wisest to pool all available energies towards a common future. This Design Resource offers a community vision, generated through an intense public process, to help channel those energies towards a more liveable, marketable, and profitable Bancroft.



This vision is summarized on the next page as the primary recommendation of this process. You will also find other general recommendations categorized under the five key community goals. These will help to illustrate how to apply our energy in order to move towards the desired community vision.

Town Vision



Adopting the Community Vision

Above any of the more specific recommendations of this section, this study recommends the adoption of the community vision, in spirit, by all community decision makers. This community vision is composed of the following key directions for channelling community energy ...

1. **Walkability**
2. **Rustic Village Character**
3. **Environmental Harmony**
4. **Human Scale**
5. **York River Valley**

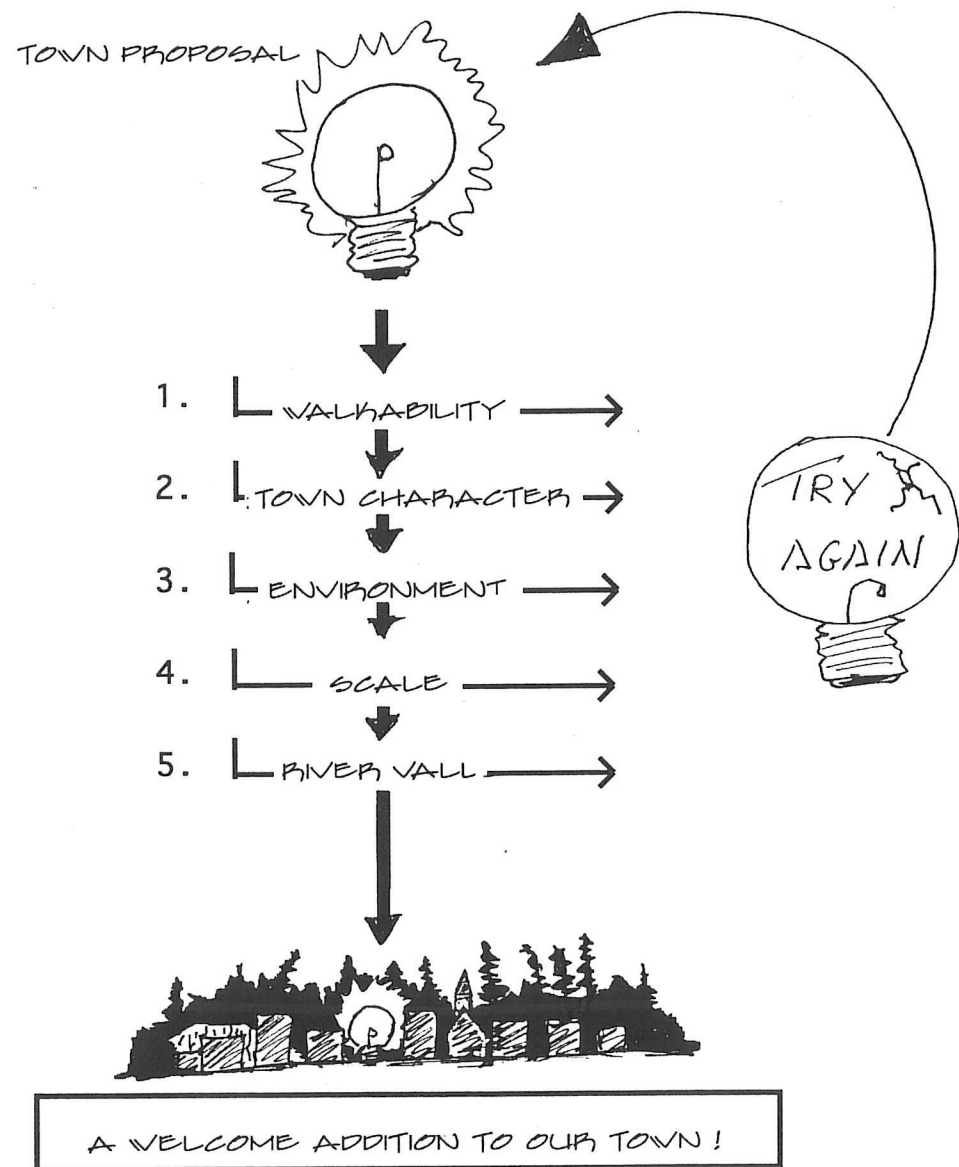
and the following vision statement ...

Bancroft shall strive to become a human scaled, walkable community with a rustic, village character celebrating its river valley situation and its relationship with its natural heritage. Dynamic, diverse, & compact, Bancroft shall provide a distinct experience that defines it as a special place for people to interact and visit.

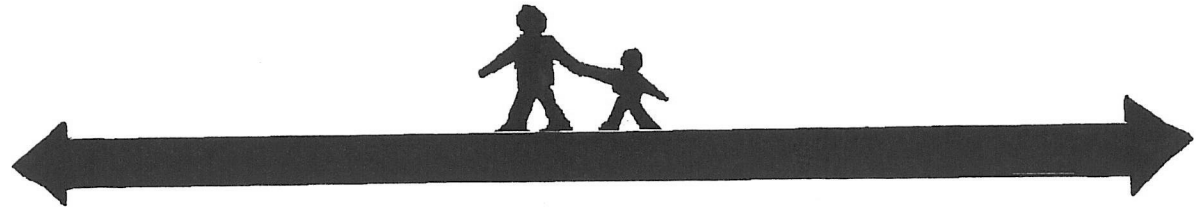
which we can aspire to. This represents only a jumping-off point for community driven design. The 'dialogue' needs to be an ongoing part of the evolution of our Town, and our community vision should be reviewed and amended over time to best guide that evolution.

Community Decision Making Filters...

Each of the five primary community goals identified in our community vision, should be considered a decision 'filter' through which Town level decisions can be considered. Acceptable decisions should never negatively impact upon any of these primary goals.



1 Walkability



The quality of our pedestrian environment will be key to any successful community design effort for Bancroft. There are many ways in which the pedestrian domain can be improved at the community level.

a) Pedestrian Priority



The function of this sidewalk has been impacted by the 'organization' of parking around it.

Along with the other primary community goals identified in our community vision, walkability should be used as a decision 'filter' through which Town-level decisions are considered. Acceptable decisions should never negatively impact upon the pedestrian environment of our Town.

b) Pedestrian Comfort

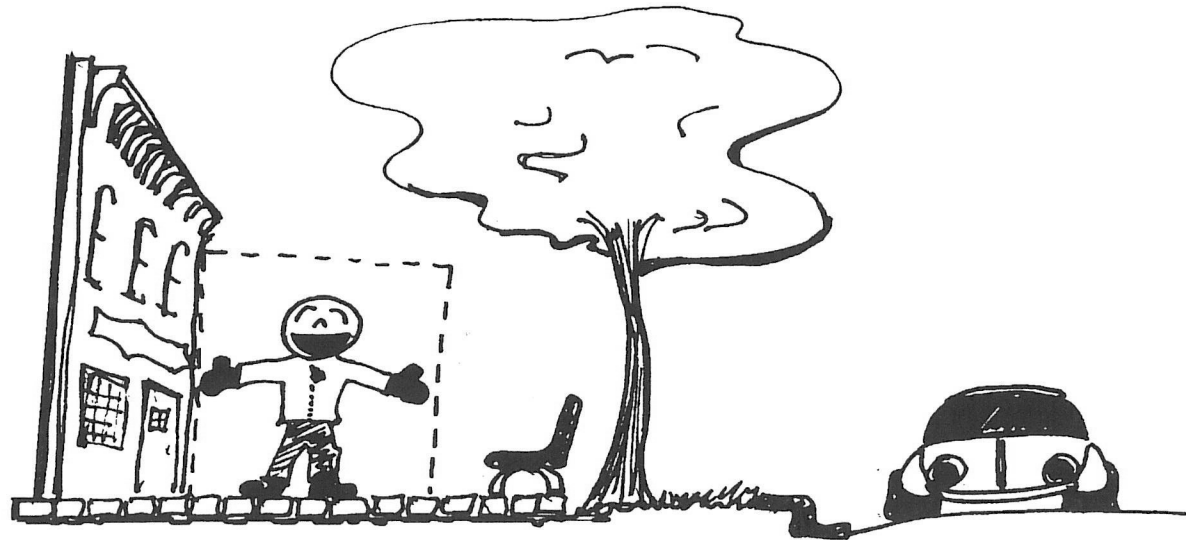
To get a feeling how successful a pedestrian space is, a good test is to stand in the spot for a few minutes and ask yourself questions such as those illustrated in the pedestrian comfort index below. We usually know instinctively when a space doesn't feel right; but by using such an index, and checking each issue in that location, you can actually start pinpointing why spaces aren't comfortable. Then it is possible to take steps to improve that environment.



Pedestrian Comfort Index

Aesthetic	✓	Is there an interesting level of Detail present?
	✓	Does the space have Vegetation present ?
	✓	Does the space offer a variety of Textures ?
	✓	Are there any Unique Features present?
Physical	✓	Is the space Windy or exposed to elements?
	✓	Is it Dusty ?
	✓	Is the Noise level comfortable ?
	✓	Are there Rest opportunities nearby ?
	✓	Does the location permit the pedestrian Personal Space ?
Safety	✓	Are you Separated from vehicle traffic ?
	✓	If a Crosswalk, does it lend confidence ?
	✓	Do you have clear Visibility with Traffic ?

c) Designing Pedestrian Spaces



Healthy pedestrian space can be achieved in a combination of ways:

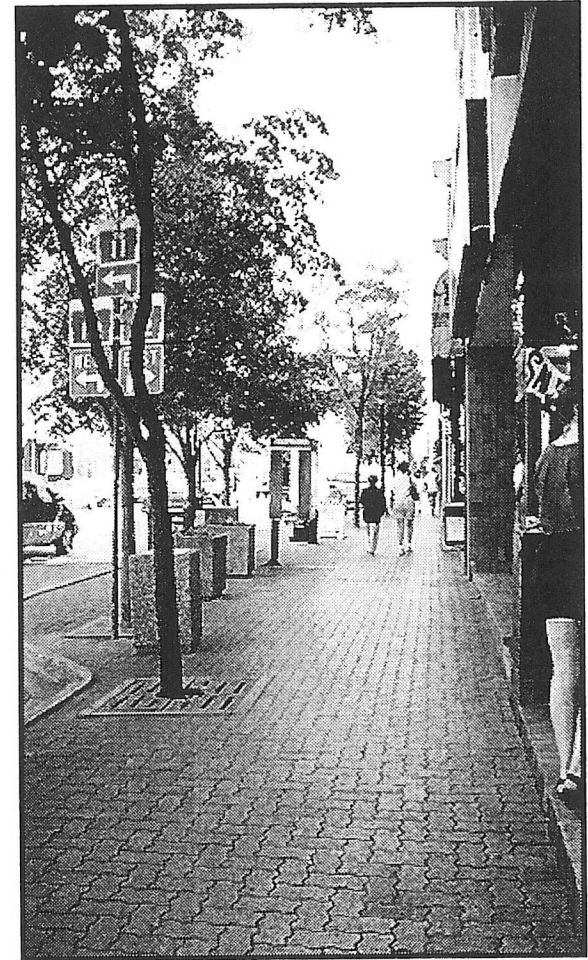
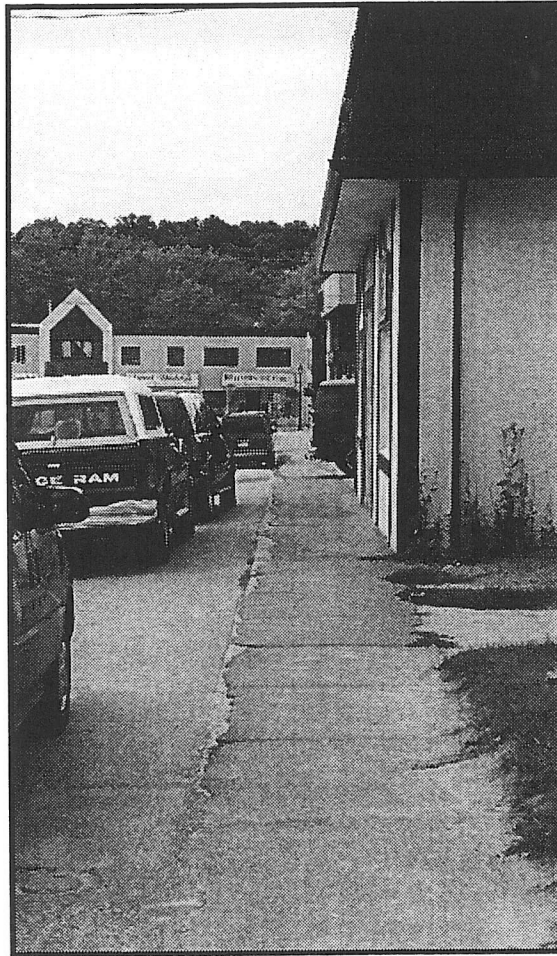
Definition of the space, using lamp standards, elevation, boulevard texture and colour, street trees, furniture, and on-street parking;

Separation from pedestrian stresses such as street traffic, loading, alleyways, and extended exposed areas; and

Amenities such as furniture, lighting, and occasional washroom opportunities.



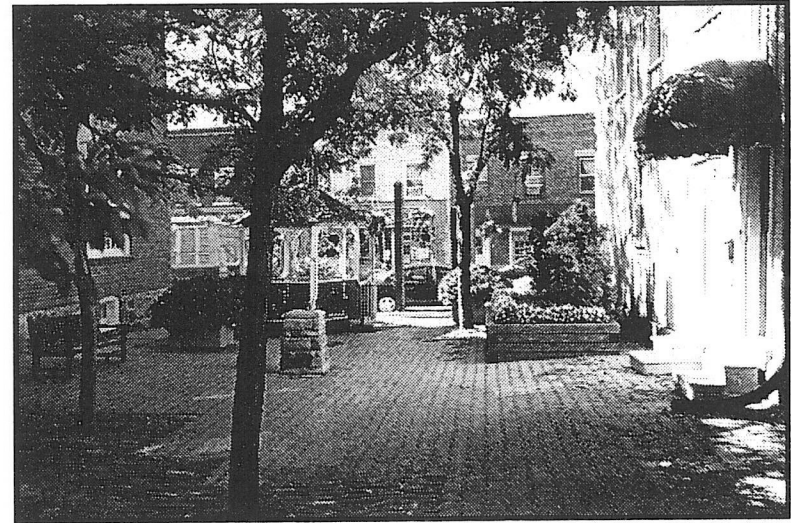
Independent street studies are a good way to ensure that a street becomes a true public space, amenable to the walking public. Hastings Street, Station Street, and Flint Street would be good early candidates for such study.



Good pedestrian space requires effort to achieve. But the end product contributes to what communities are really all about - human interaction. In pursuing a healthy pedestrian environment, a community becomes more liveable, its image and reputation are enhanced, and it creates an environment more amenable to retail success.



This courtyard in Markham village is a good example of comfortable pedestrian space.



"Bancroft's downtown core has to become more 'people' oriented."

"Provide spaces for elderly to walk - shade, etc..."

"Trails to LINK our assets are important."

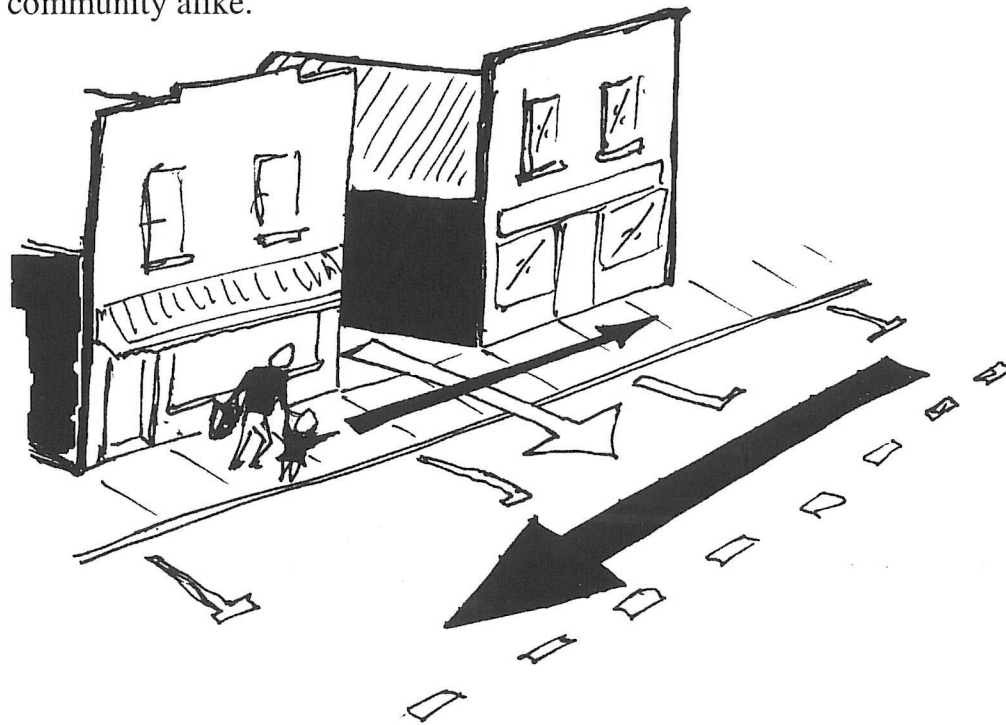
"Sidewalks done in cobblestone or interlocking brick with flowerbeds hold a lot of appeal for residents & tourists"

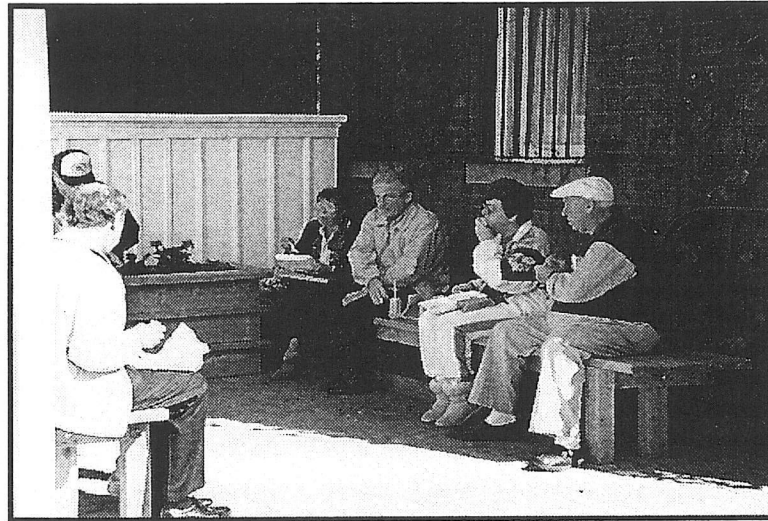
"Walkways for aging population."

"Development of walkable community spaces, especially next to river."

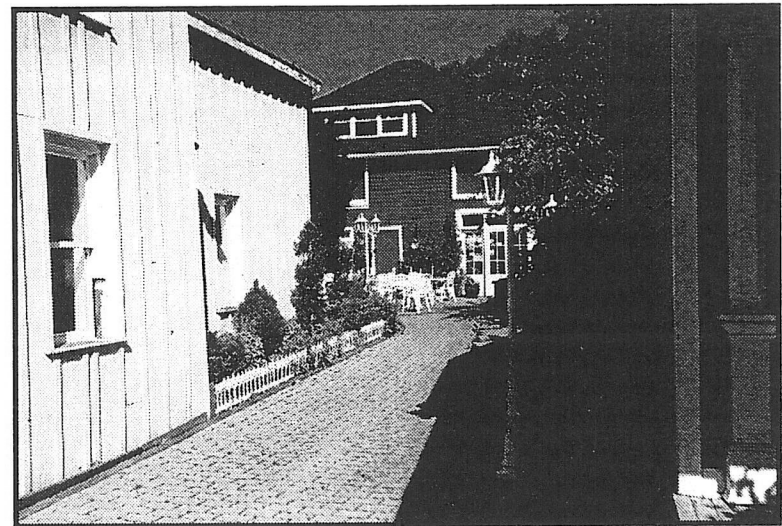
d) Main Street Alleyways

A contributing factor to the congestion problems of Hastings Street is the number of blind alleyways feeding out onto the street and across the sidewalks. Safety issues, driver and pedestrian stress, and loss of on-street parking are a few of the difficulties that arise in this situation. Linking rear areas of the downtown in order to minimize downtown connections to Hastings Street is a design challenge for downtown property owners that might require Town - level impetus and facilitation. Coordinated parking is more of a cooperation issue, than one of capital outlay. The benefits include better loading access, more convenient customer parking, and less stress on Hastings Street vehicle and pedestrian movement. Encouraging the use of these alleys as pedestrian connections to rear parking, courtyards, additional retail, etc... will benefit the individual property owner and the community alike.



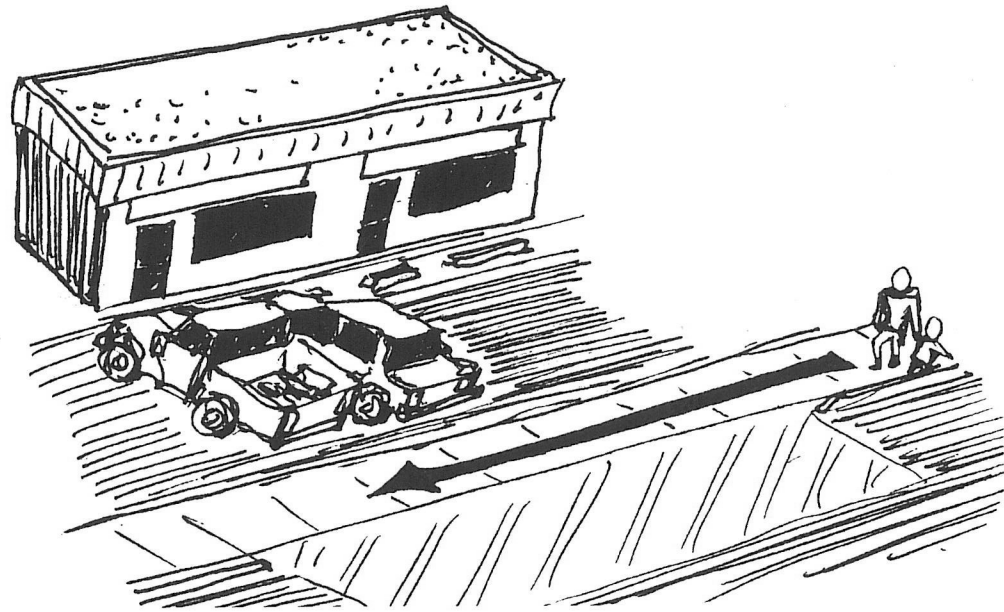


Good uses for phased-out alleys include semi-public rest areas and pedestrian connections to rear parking, shops, etc...



e) **Off-Street Parking**

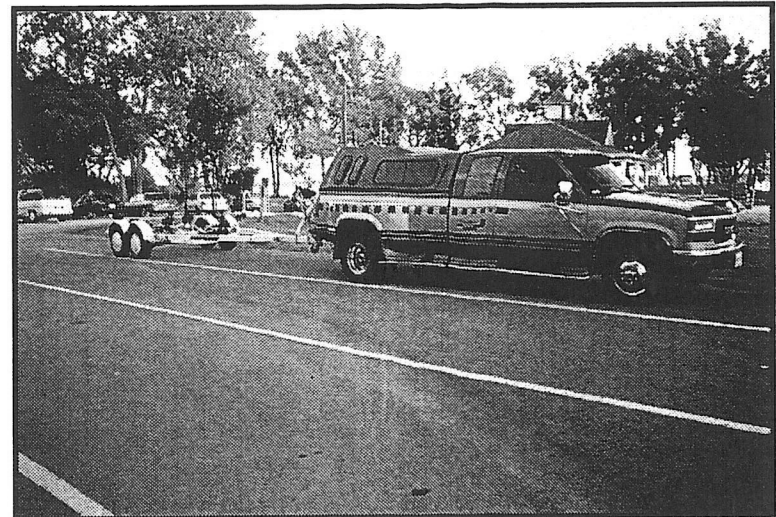
Off street parking provided on the opposite side of a sidewalk from the street, are similar to alleyways in their impact upon the pedestrian domain. The scenario below sacrifices one or two on-street spots in order to squeeze three off-street spots in. In addition, the drive in - back out situation creates pedestrian and street friction points and separates the establishment from pedestrian traffic with a row of parking.



Several variations of this type of situation can be found around Town. They should be remedied where possible, and avoided in future development through wise design review at the Town level. Despite current zoning requirements, well sited and designed *on-street* and *municipal* parking areas are the best way of providing parking at the least cost to our community fabric. Parking *space* is not a problem in Bancroft, however its *organization* will be a significant challenge.

f) Municipal Parking

Municipal parking will play an ever more important role in Bancroft. Early organization and development of these amenities will avoid longer term fragmenting and access problems. Our municipal parking should set the standard for private parking quality. The 'parking' section of the Commercial Design Vocabulary in this Resource offers guidelines which are just as appropriate to municipal level parking.

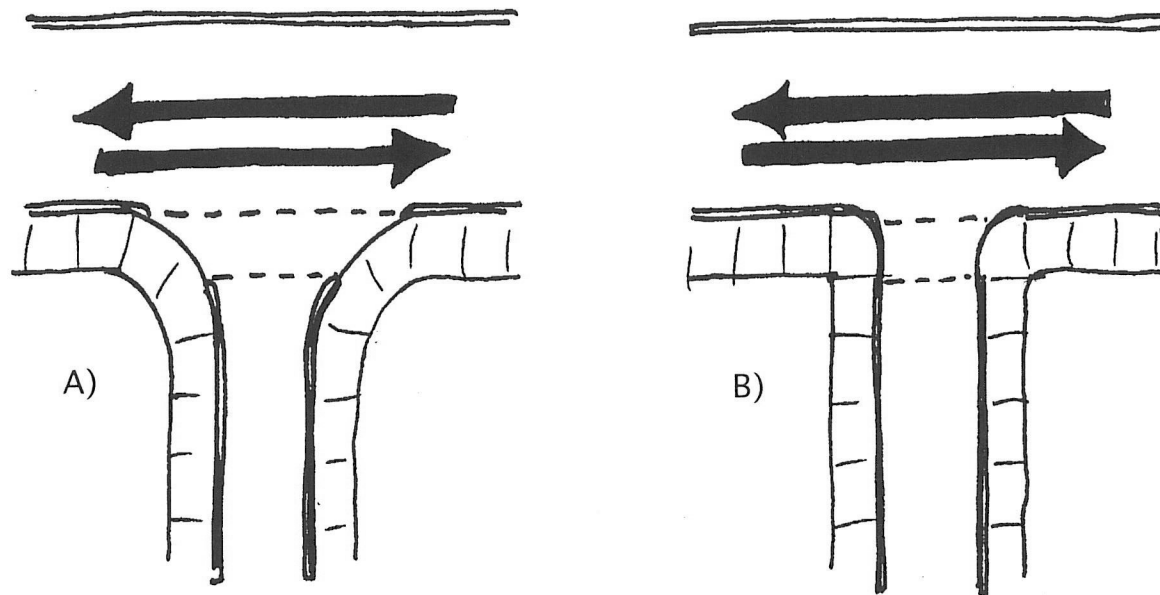


This Belleville example of large format parking spots might be a useful amenity for Bancroft's R.V. and boat hauling visitors.

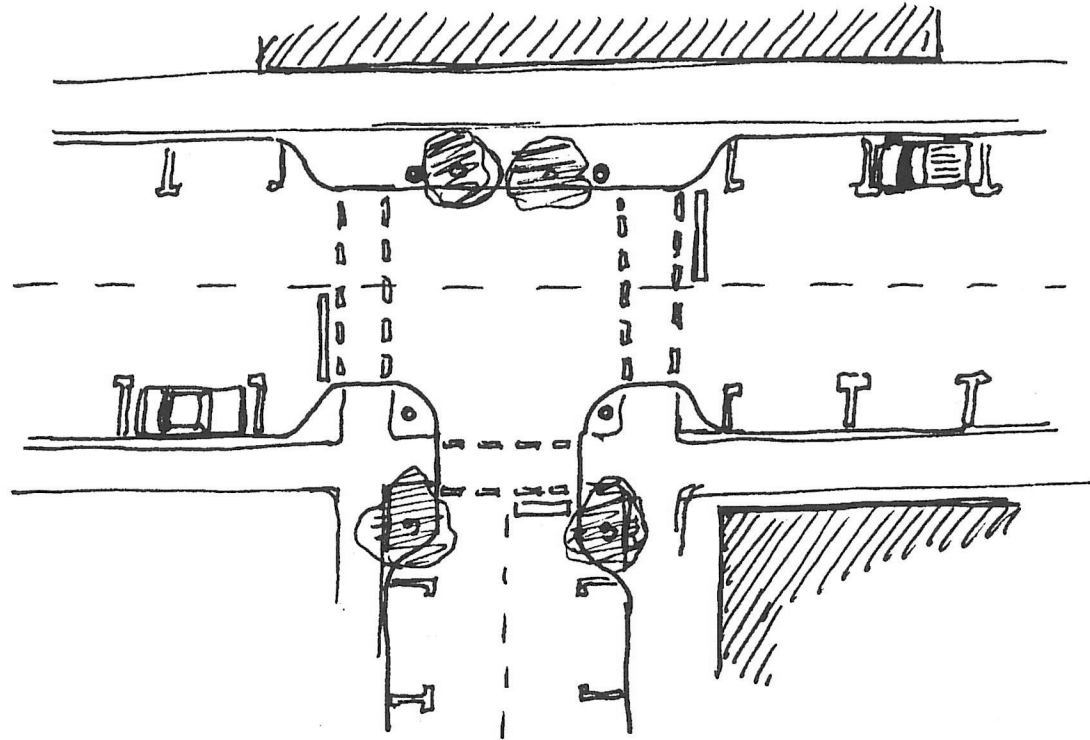


"No time limit on parking. People spend more time walking and shopping when there is no time pressure."

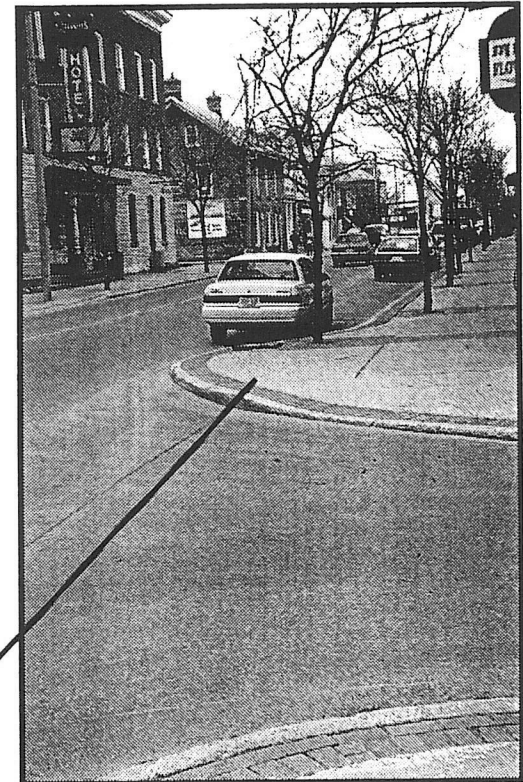
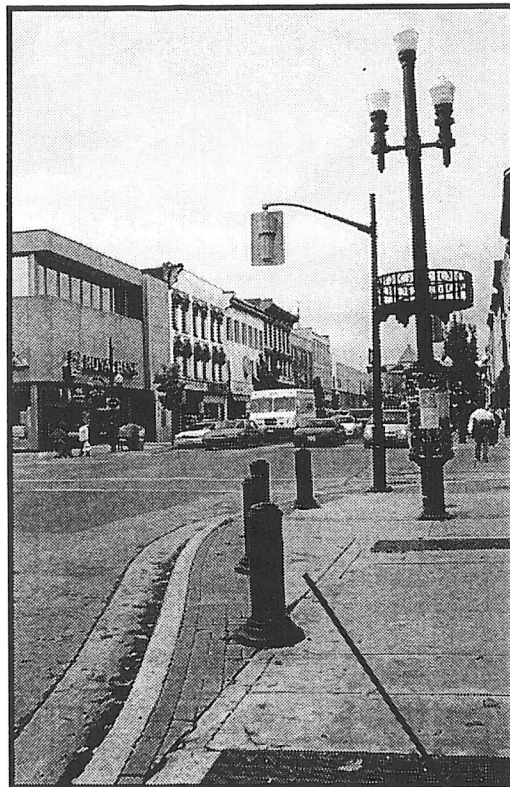
g) Intersection Design



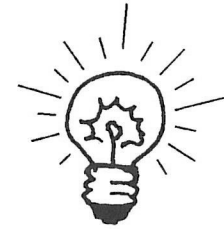
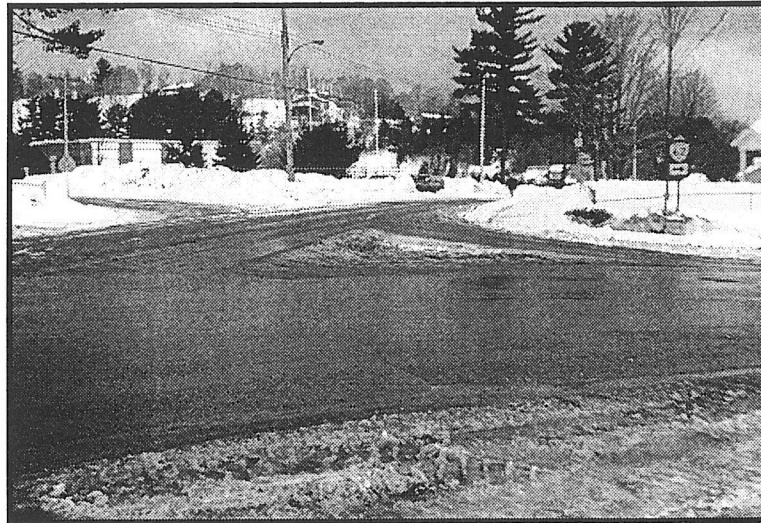
You can see from this illustration that corner radius design has a direct impact on pedestrian crossing distance at intersections. A large corner radius (A) also permits faster cornering for vehicles, adding to pedestrian stress and collision opportunities. Where accommodation for over-sized vehicles is unnecessary, smaller corner radii (B) should be used. Further improvements can be gained by narrowing the crossing distance even more through the use of boulevard 'bubbles', as demonstrated below in a speculative sketch of a pedestrian-friendly intersection at Flint Street and Hastings Street.



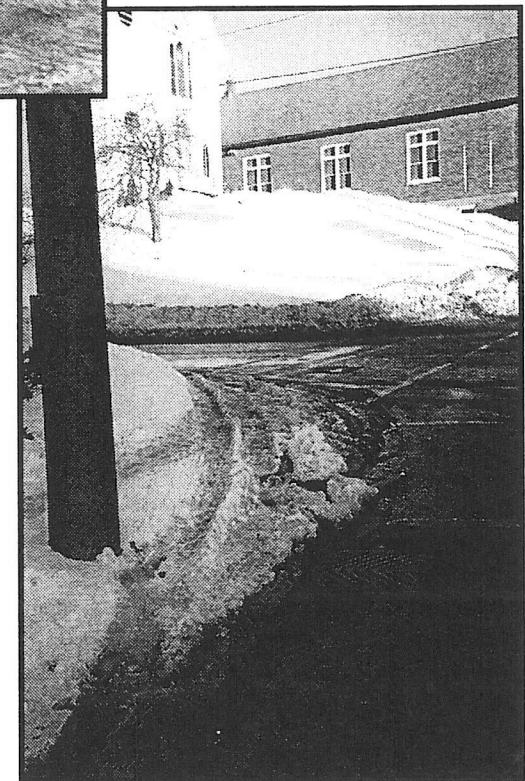
Mechanical traffic controls should only be necessary where other measures fail to demonstrate to traffic that it is passing through a pedestrian domain. No excuses need be made to traffic that Bancroft is an impediment to the orderly flow of highway traffic. Rather it should be celebrated as being an interesting node of human activity, interesting to drive through - and inviting as a place to pause, stretch, and enjoy for a period.



These examples in Peterborough and Carleton Place show how pedestrian 'bubbles' can shorten crossing distances and improve visibility.



When conditions are right, light snow can provide an indication of traffic behaviour at intersections. This demonstrate the opportunity for a pedestrian island and the need for a larger turning radius respectively for these two examples.



h) Street Widths

Given traffic patterns, our main streets must be designed to accommodate truck traffic. However, many of our secondary streets don't play a heavy traffic - moving function. These seem uncharacteristically wide and ill-defined. Madawaska and Flint are two such streets. Developing human-scale, less wasteful street spaces would be valuable. Street trees, more generous sidewalk provisions, and curbing are long term solutions to these problems. In addition, Flint Street offers an on-street angle or perpendicular parking option from its excess that would be worth further study.

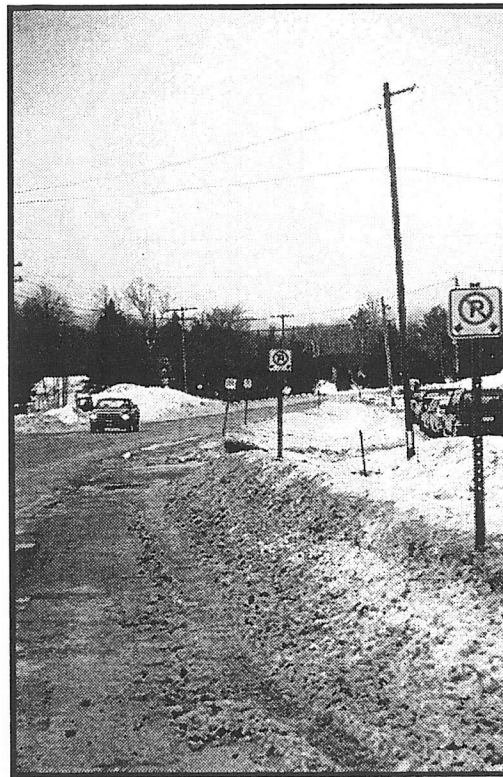
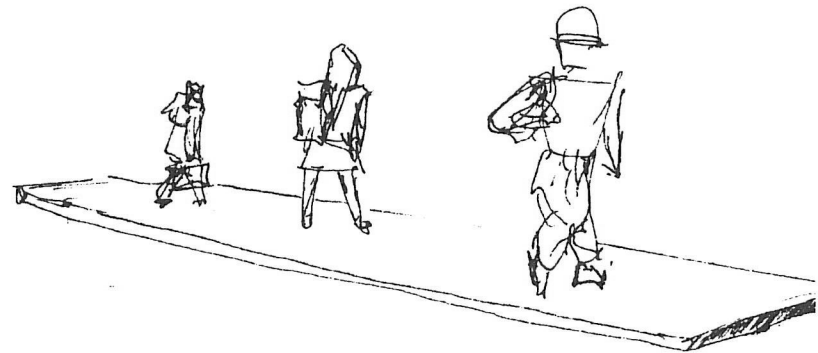


Without definition or vegetation, Madawaska Street looks even wider than it actually is.



i) Sidewalk Network

Community growth needs to be responsibly located in areas where full street, sidewalk, and alley provisions can be made available. The Eagles Nest bottleneck, where cliff and



river compress the main traffic corridor, is an example of why such care is required. It demonstrates function - inhibiting pressures on the traffic corridor, shoulders aside two of Bancroft's most recognized assets and contributes only a faceless, mechanical scale 'strip' to the community, to the detriment of local character. A retroactive battery of no parking signs along the shoulders of the corridor are only an early indication of the problems that arise when development is allowed to ignore the topography and scale of a community.



It isn't the place of such developers to understand these larger community concerns and locate accordingly. Rather, it rests with the Town level decision - makers to consider cumulative effect and long term planning in allowing development to locate in certain areas. When this responsibility is ignored communities pay for lack of foresight in countless ways over the long term, often with little option for remedial action down the line.



"As a pedestrian it feels like the Town stops at the lights at Station Street."

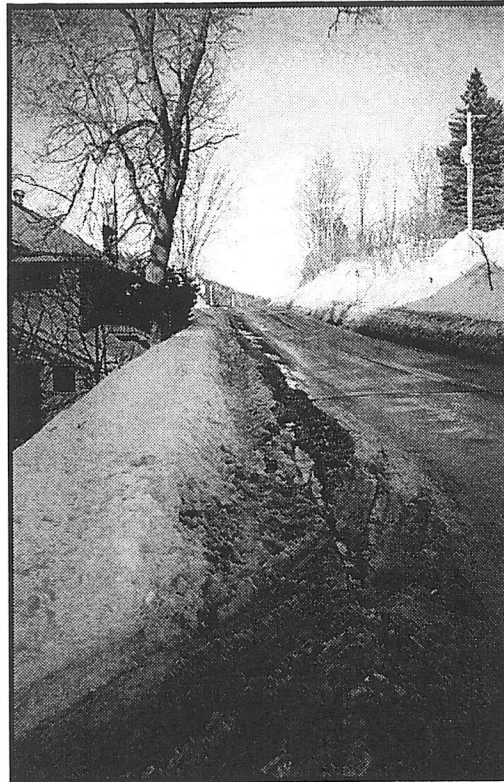
"Development below Eagles Nest is UGLY, unnecessary, and dangerous !!!"

j) Hastings Heritage Trail

The Hastings Heritage Trail offers many alternative transportation and pedestrian linkage opportunities to Bancroft. The connection of the highway 62 south junction to the old station in particular is an excellent opportunity for a linear park and pedestrian promenade.



k) Snow Removal and Maintenance



This is a particularly poor corner for pedestrians even with adequate snow removal, because of the less than 90 degree corner, a lack of platform space at the corner, and the intersection grade above the pedestrian.

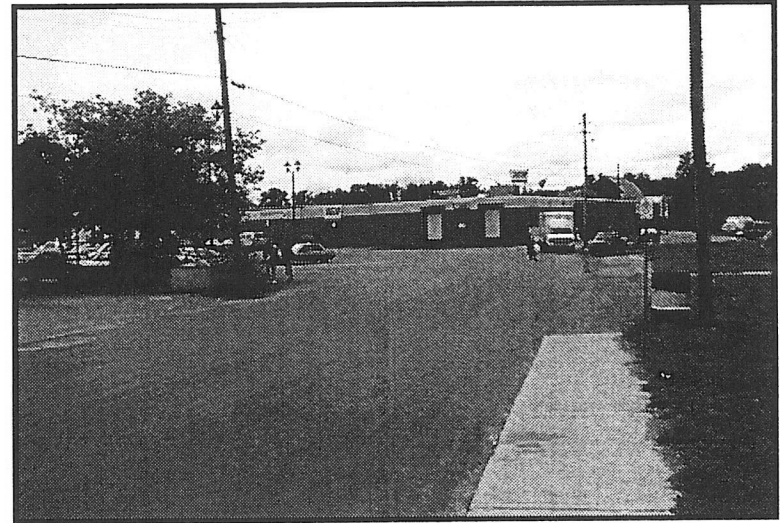
Snow removal is a significant design challenge for Bancroft. Our pedestrian network is often ignored, forcing those walking to take their chances on the road. Paving everywhere to expedite snow removal creates many obvious environmental, pedestrian, and aesthetic problems also. Both of these issues indicate the need for more effective snow removal.

Maintaining safe sidewalk surfaces all year round is important to maintain the desired walkability in Bancroft.

1) Street Connections

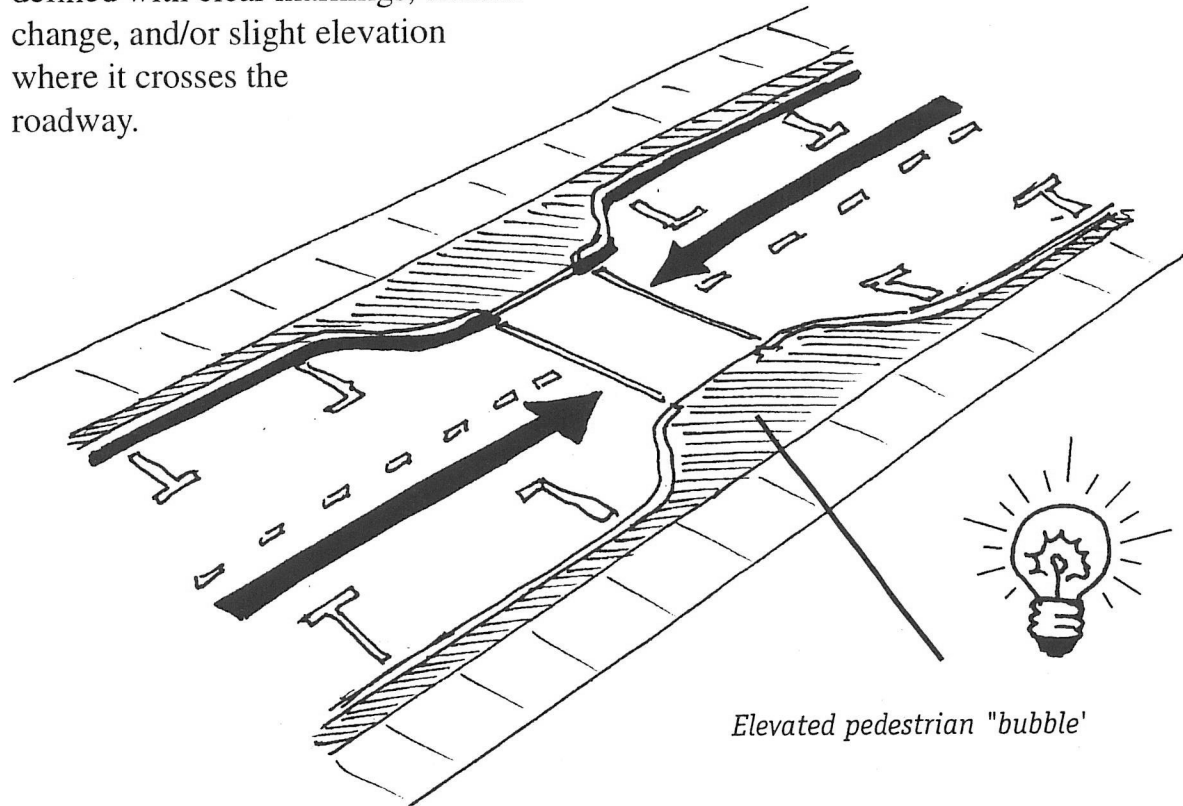


With unhealthy frequency, streets in Bancroft simply end in a parking lot or a dead-end where connections to nearby streets could be made. This is problematic because topography limits street options in many other situations where such connections aren't possible. This creates many interrelated pedestrian and vehicular function problems, such as our increasingly congested main street bottleneck. In a healthy street network, every street connects at least two other streets and a hierarchy of traffic-moving, from pedestrian pathways to arterial roadways is used to create alternatives. Additional side street options and connections would benefit Bancroft and should be considered where possible. Streets that float into a parking area, for example, could be better defined, carried through the lot and connected to the street system elsewhere.



m) Crosswalks

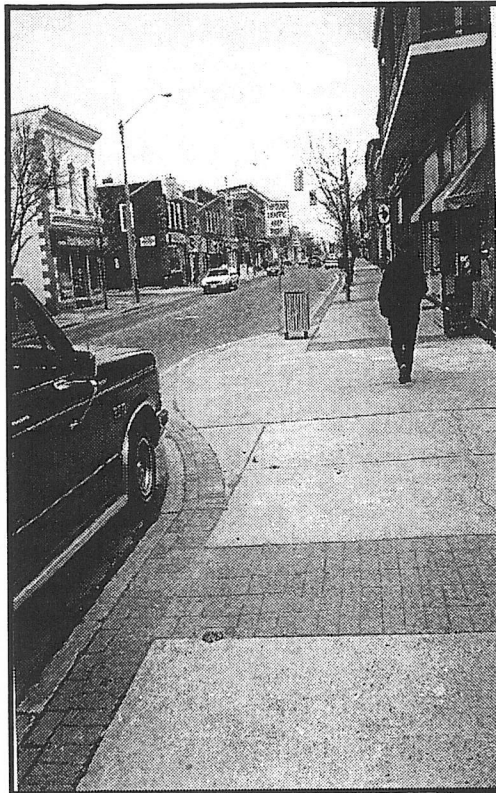
A well designed crosswalk brings the pedestrian out to the inside edge of parked vehicles, elevated for visibility with vehicle traffic. The actual crossing distance is minimized and the crossing zone is well defined with clear markings, texture change, and/or slight elevation where it crosses the roadway.



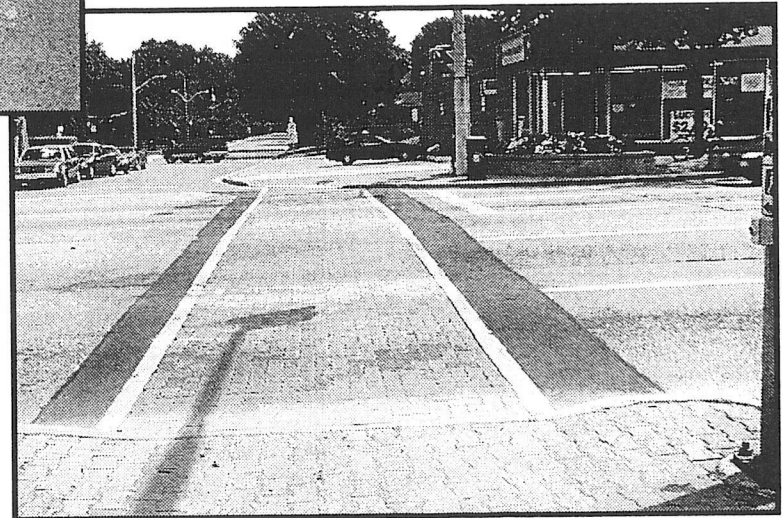
Elevated pedestrian "bubble"



"More x-walks, properly signed and lighted."



*"Bubbled" boulevards
and textured crosswalks are
two excellent ways to provide a
safer street crossing for pedestrians.*

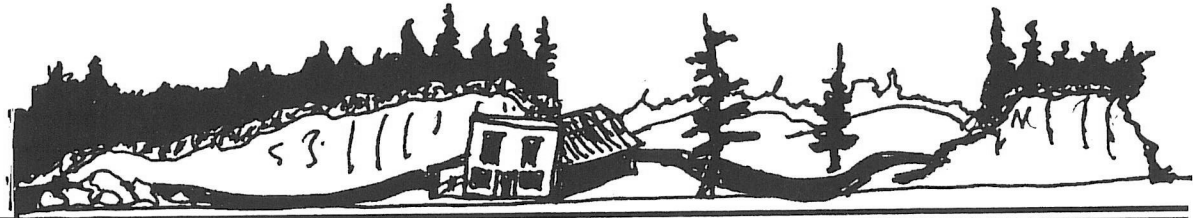




Bancroft has channelled its traffic along Hastings Street to the point where it has become a serious pedestrian obstacle to cross.

By providing suitable intersection and mid-block cross walk infrastructure, parallel support alleys, and avoiding unnecessary entrances we can give the street back to the pedestrian, and actually enhance its traffic - moving role.

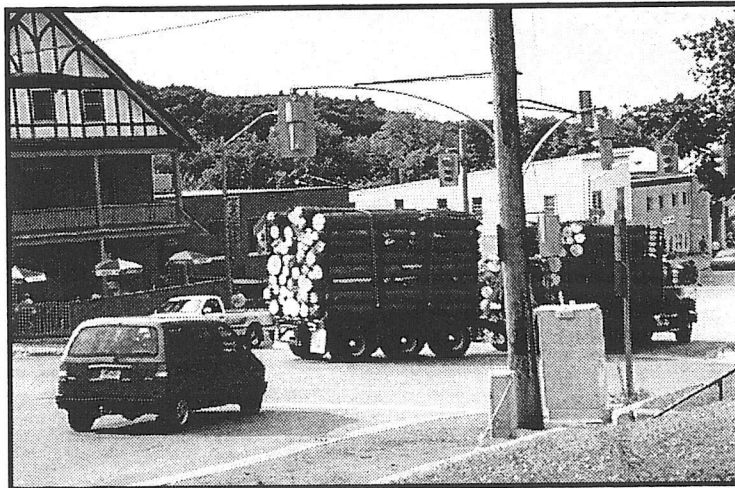
2 Character



Once a community surrenders its distinct character to the default development patterns of everywhere else, it loses an important, marketable asset.

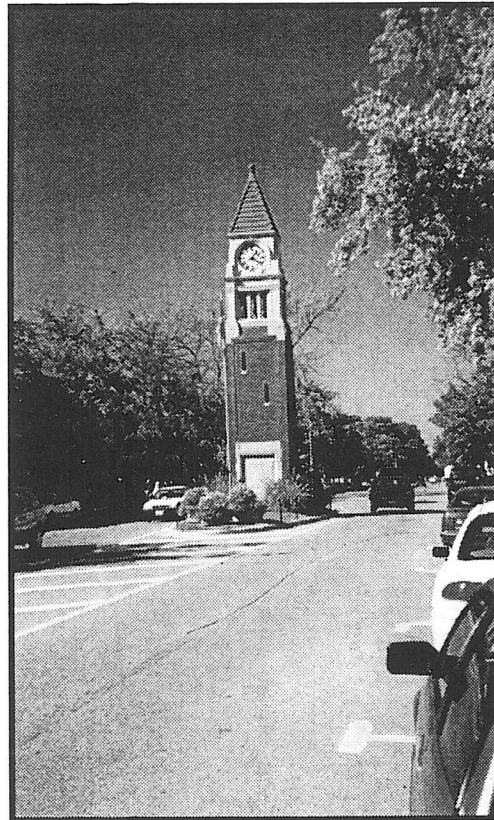
a) Character Priority

"Town character" is the second key decision - making filter for appropriate Town - level decisions. Acceptable decisions should never result in a negative impact upon our rustic village character.



"Let's remember our history. This is NOT a Victorian Town historically, it is a lumber & mining community."

b) Creating Town Focus



Many towns were originally laid out around a village 'green' or civic 'square' which served as a market, gathering place, and community hub. Others are punctuated by clock towers or dominant public buildings located centrally. Bancroft would benefit from such a focus.

One possibility could be where our municipal axis (Flint St.) meets our commercial axis (Hastings St.). Currently the site is being used as an unorganized parking area.

An effective street design for Station Street could also create the such community focus - it will play a more central role as the community grows into itself around the old Canadian Tire.



"The area of the river/bridge/park along Station Street seems to be the natural centre and should be developed to draw people and encourage visitors to stop and stay a while longer. Walkways on both sides of the river, more seats, etc..."

b) Public Buildings

When constructing new public buildings, or renovating existing ones, the 'Commercial Design Vocabulary' provided in this resource offers a good tool to guide design decisions in order that the building and/or site best contribute to our Town character. Our public buildings should be community leaders in this regard.

Currently, Bancroft's public buildings demonstrate little relationship to one another, nor are they prominently sited as a rule. Flint Street and the Park are loose anchor points for our common buildings, but lack clear distinction, organization and identity. When siting new public structures, it is recommended that consideration be given to the location of other public facilities and to the prominence of the proposed sites relative to the importance of the new addition. Where possible our existing Town buildings should be better identified and emphasised, and linkages drawn between them. Proportionately, Flint Street offers the greatest collection of these facilities. Better celebrating Flint Street as a municipal axis might offer some necessary organization to this situation.



"Government and institutional buildings should become good examples of appropriate building styles - this is not currently the case."

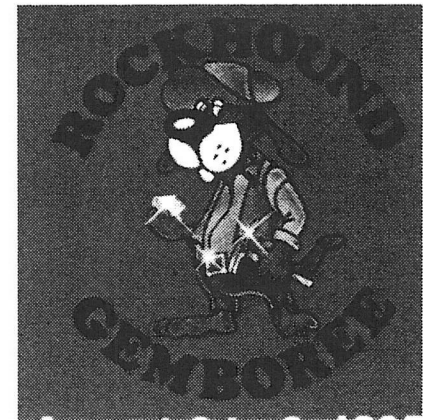
"Library should be expanded and be better integrated into Town."

c) Outdoor Dynamics

Such elements as outdoor patios, displays, street performers, vending carts and outdoor markets lend a community energy and interest. Many organized events serve this role as well, though only



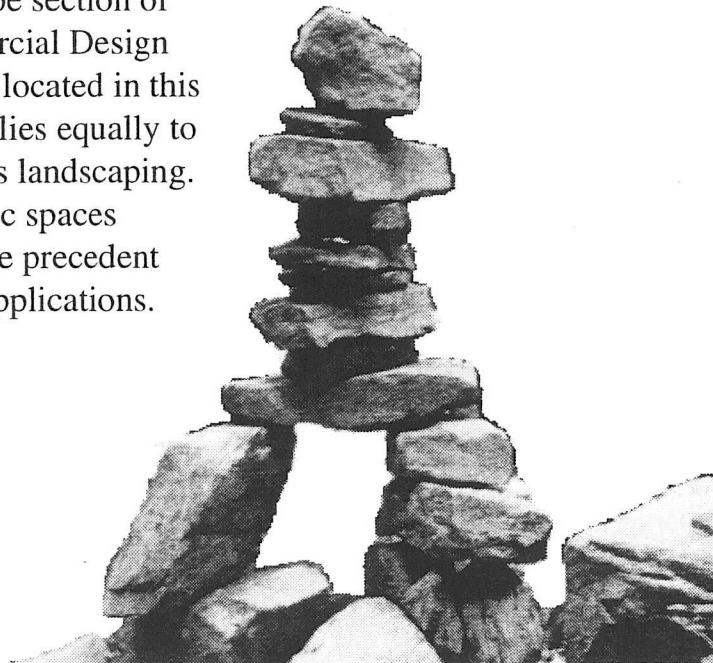
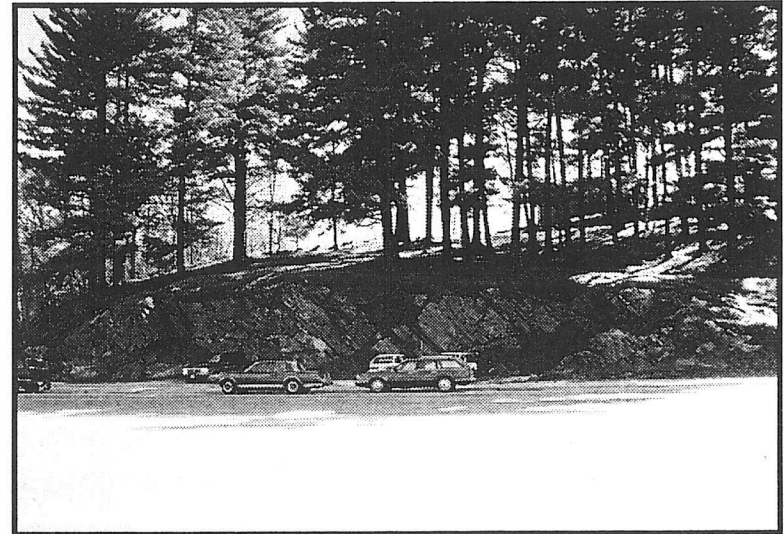
periodically. Both spontaneous activities and organized events should be actively supported by Town level decision makers.



d) Using Our Landscape

A long term design challenge will be found in reflecting our rugged landscape back into the Town to add character, shade, and visual contrast. Trees, wild grasses, wildflowers, and rock are living character, accenting the built features of our Town.

The landscape section of the "Commercial Design Vocabulary" located in this resource applies equally to public spaces landscaping. In fact, public spaces should set the precedent for private applications.

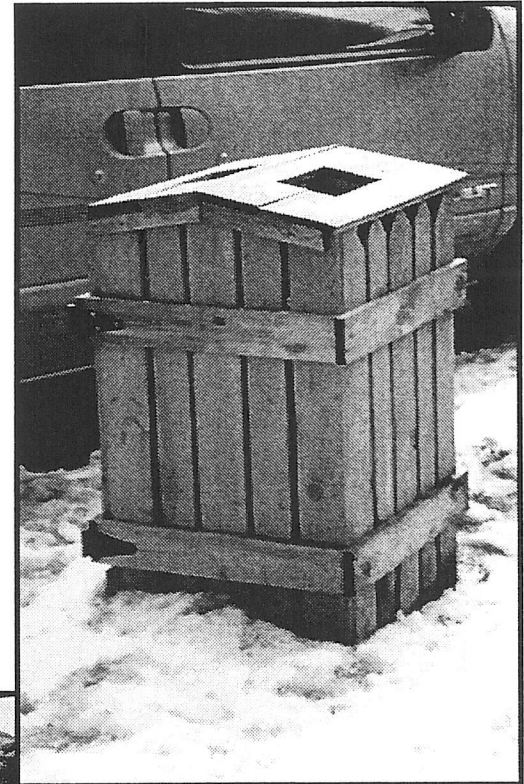


e) Street Furniture

Street furniture provides amenities that help define comfortable pedestrian space. For maximum value they must be carefully located and positioned to be convenient, but clear of traffic areas.

Street furniture also provides an opportunity to accent the character of a community. Style and material use should both be considerate of that character.

This Oakville trash receptacle is of a design and material that might work well in Bancroft. The Niagara on the Lake bench shows care in placement.



"Cleanliness is important, few communities provide enough trash containers and strategic placement."

f) Town Signage

Like furniture, Town signage is an opportunity to promote the character of the community and make it easier to navigate. Separate signposts - heavy wooden posts might work well for Bancroft - to mount standard signboards on is more effective than using any convenient post. A community logo, a standard font, and colour for each signboard are also good ideas.



This corner is an indicator of the need for more organized Town signage. Redundant placards, lack of consistent design, and haphazard placement contribute to a careless overall effect.





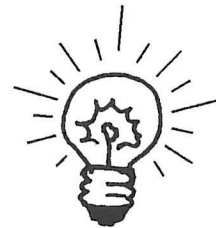
Stylized town signage adds that organizational cement that can help pull the image of a community together.



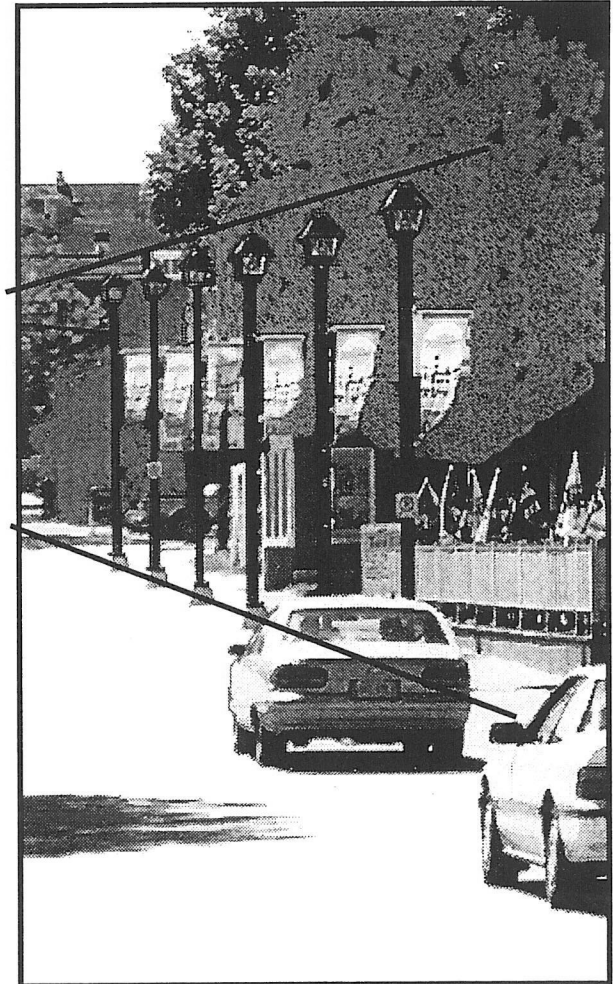
g) Lighting

Our new lamp standards, though technically not character-supporting, do offer a much more human scale light source than the 'tower' streetlights also present in Bancroft. In order to receive value from this installation effort two important design moves must still be undertaken. The first is to remove the redundant 'tower' streetlights.

The other involves increasing the frequency of the lamps by a about a factor of three. Proper application of this type of lighting creates a 'colonnade' effect where one lamp leads the eye to the next. A general rule of thumb to determine such spacing is that the space between standards shouldn't exceed two times the height of the lamp from the ground. Symmetry along the street axis also polishes the effect.



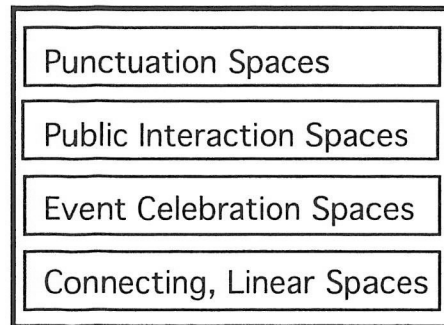
This lamp interval shown demonstrates the 'colonnade' effect - compressed here for even greater impact.



h) Public Spaces

Bancroft needs public spaces that are integrated into the rest of the community. Public spaces should be distributed across the Town fabric. They should always be walkable, interesting, and contribute to our Town character in materials use and landscaping efforts.

Our main park offers the best option as an anchor space though it is tucked away from the street behind the post office and doesn't act as a connecting link. With some better design it could be better integrated, but it will fall to other smaller spaces more centrally located to perform the integral public space role.



Small, leftover spaces and unusable slopes can really contribute to the Town character by being used as punctuation landscape opportunities. Slightly larger spaces need to be developed as rest areas, parkettes, and other interaction nodes. Our streets, the river, and the Hastings Heritage Trail warrant special attention as Connecting, linear spaces. Each level of public space has its role and contributes to the overall success of the community when executed effectively.

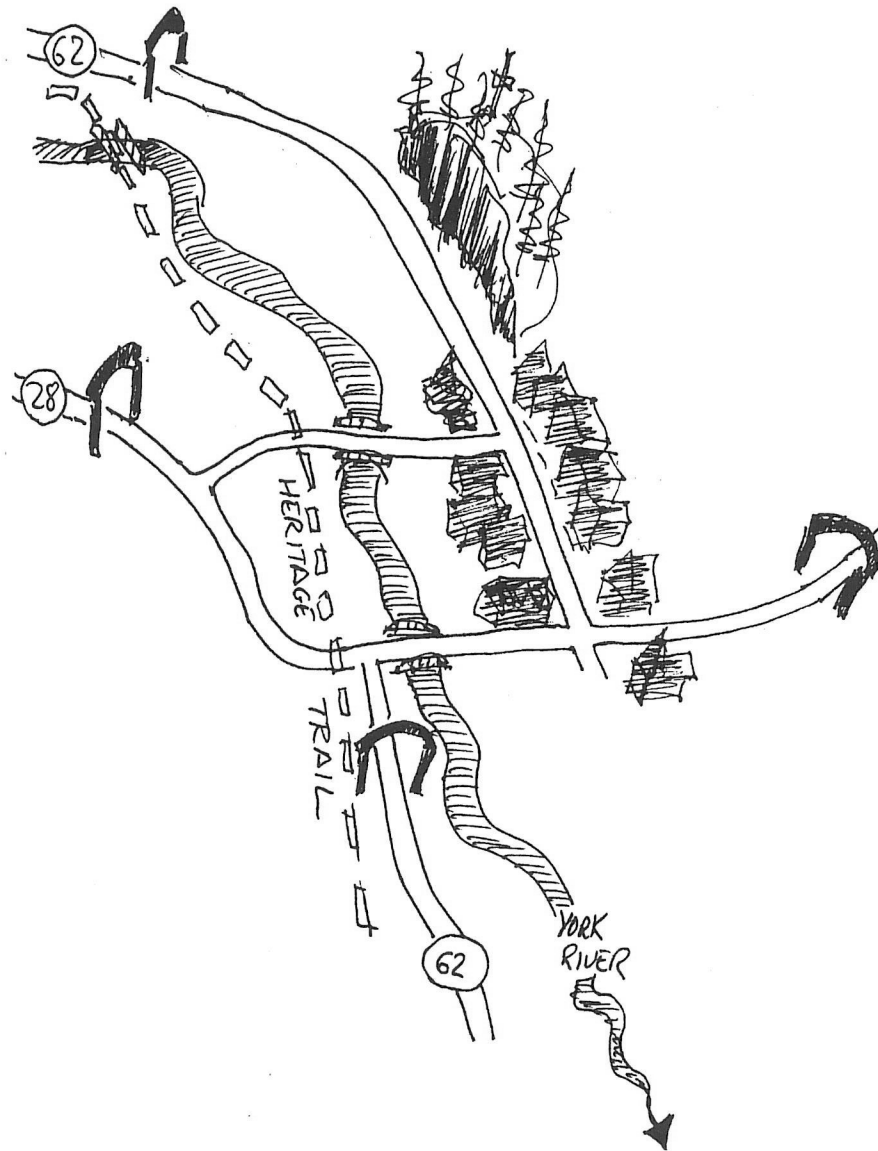


"Use public spaces for village landscape projects that bring the community together."

"Hastings Heritage Trail as greenspace."

"Need community space downtown."

i) Gateway Development

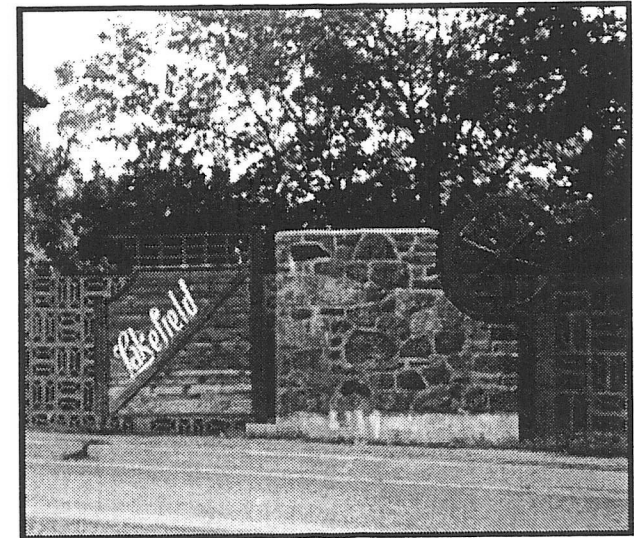


Selecting where Bancroft begins from its various approaches (including the river, the Heritage Trail, and the internet ...) and preserving or enhancing those experiences is an important design challenge, helping to define a sense of *'place'* by celebrating *'arrival'*.

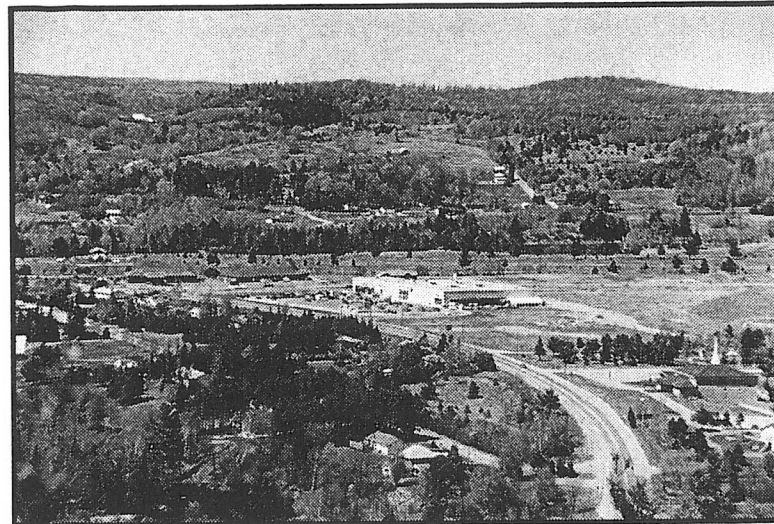
Sprawling, highway development, strung out along our highways dilutes these 'gateway' effects. Highway 28 south and highway 62 north seem particularly susceptible to this pressure.



"Bolder presentation of 'Entrance to Bancroft' signs - use of rock and timber to accent our character.

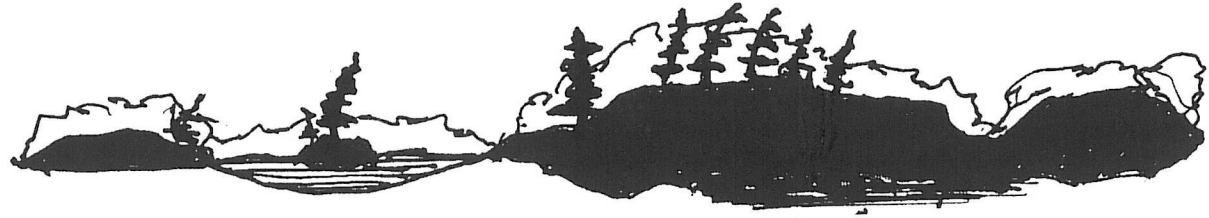


Lakefield's gateway sign shows creativity, texture, and simplicity in a well - thought out package.



Leapfrogging highway development makes gateway development extremely difficult.

3 Natural Environment



By respecting the ecosystem that we live in, in all aspects of Bancroft's evolution, we will preserve the wild spark that is the lifeblood of our Town's character. The challenge will lay in reversing many of our unsustainable land use practices and turning our relationship with our environment into a more balanced one.

a) Environmental Priority

"Environmental Harmony" is the third key decision - making filter for appropriate Town level decisions. Acceptable decisions should lead towards a community that 'sits lightly on the land'.



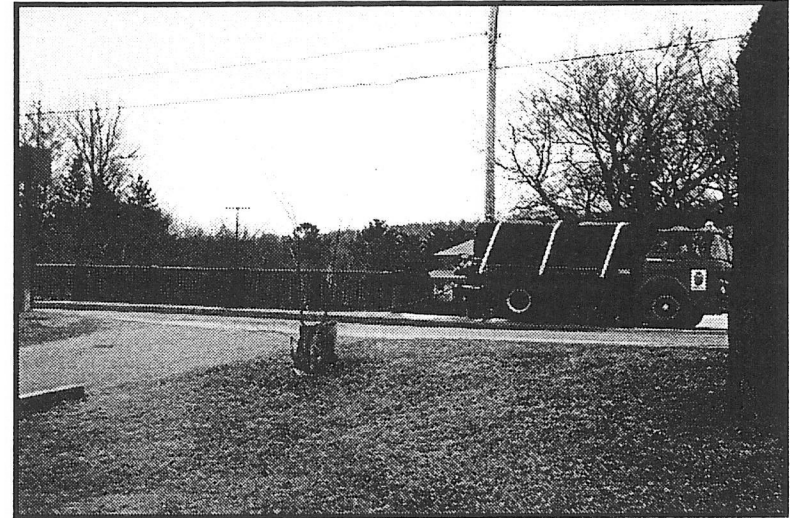
"Preserving our most significant character & assets requires caring for our natural environment - trees, water quality, habitat etc..."

b) Image - Enhancement

As a town in the heart of destination quality wilderness, Bancroft could benefit from a reputation as an environmentally - tuned community. Such a reputation is an attainable, natural benefit of this decision making filter.

c) Maintenance Practices

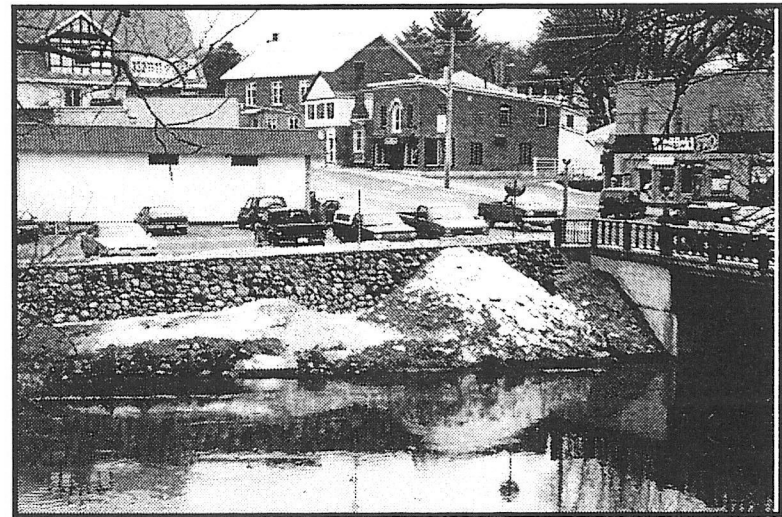
Such practices as riverside pesticide application and vegetation razing, snow dumping onto the River, and the hosing of road salt / sediment from the bridges into the River need to be reconsidered and less damaging options explored.



Spring bridge hosing



"A clean river would improve the chance of projects to access it and return tourist / town use of the park."



River snow dumping

d) Watershed System

A watershed health approach ties into the 'York River' goal as well. Targeting the water quality of the York River can provide a gauge of Bancroft's impact on its environment. Understanding the functions of our York Valley Watershed - using tools such as the Watershed Report Card (A community watershed tool available through Hinterland Community Planning & Design) is an excellent way of monitoring and remedying negative Town impacts on our ecosystem. Specific impacts include storm water management, overpaving / hard surfaces, erosion, sedimentation, super heating, contamination, etc...

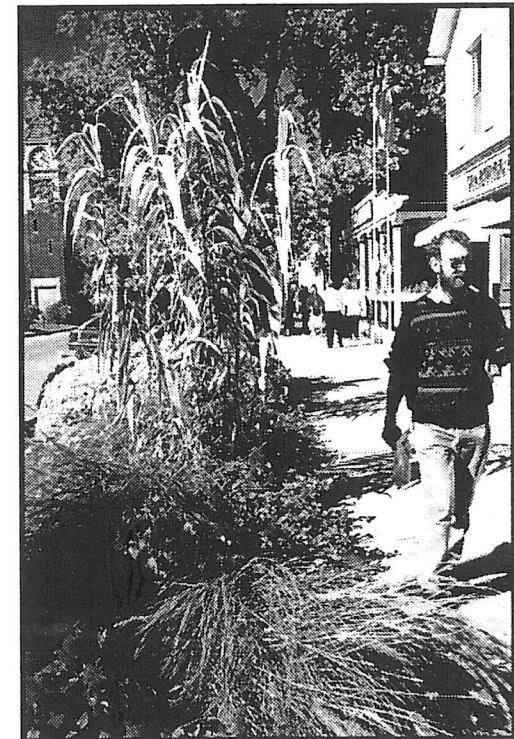
e) Community Greening

Town level planting efforts can include boulevard planters and street trees for our streets, shoreline vegetation along the river, and the whole range of character enhancing vegetation for other public spaces.



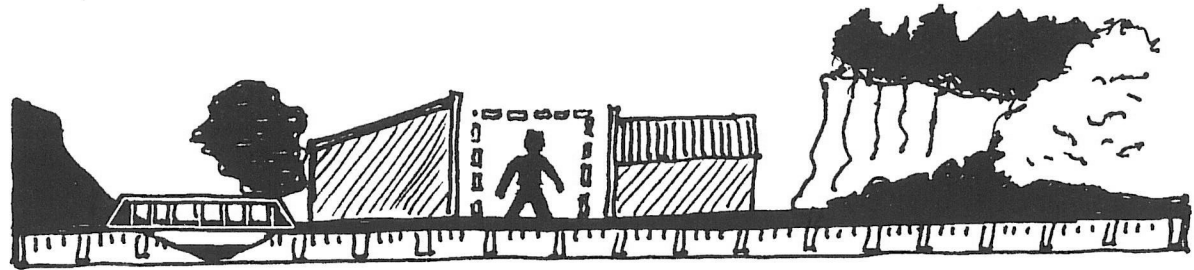
*"Community gardening
and composting."*

*"Flowers on light
standards are excellent"*



Niagara on the Lake boulevard

4 Human Scale

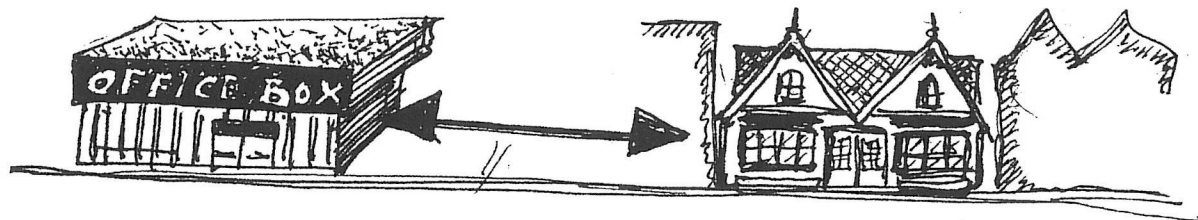


Recognizing the importance of human scale once more (in a community that has been suffering from contrasting mechanical scale development for several decades) is a design challenge fundamental to evolving to a higher level of community.

a) Human Scale Priority

'Human Scale' is our fourth key decision - making filter for Town - level decisions. Acceptable decisions should promote a human scale community environment and not a mechanical one.

b) Articulation



'Articulation' refers to the level of detail present in our buildings, our landscape, our signs, etc... Where little detail exists, character support and human comfort usually ebb.

c) Gearing

Our Townscape should be aimed at providing maximum experience at no faster than walking speed. Communities that respond primarily to vehicle traffic moving usually aren't much fun to walk. When more detail exists, the movement experience is naturally enjoyed more by both pedestrians and vehicles. Communities with interesting 'Townscapes' usually have slower, more relaxed traffic and fewer traffic complaints.

d) Signs

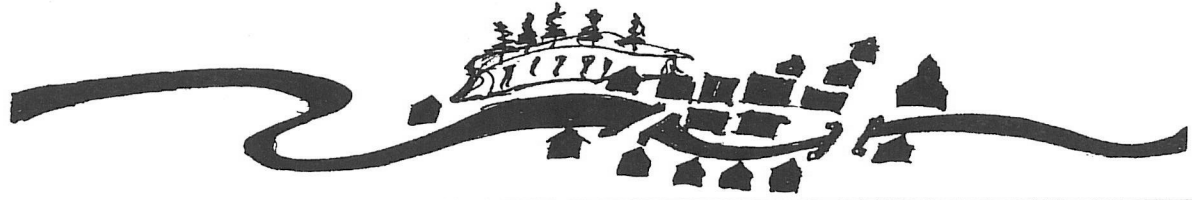
Signs, though only one level of detail among many, have perhaps the most impact on broadcasting the scale of a community. Signs that are elevated, backlit, bright and exhibit large area surface area are designed to communicate with vehicles moving at 60 km/hr plus ... When enough of these are present in a landscape the experience is broadcast as '*mechanical*', and drivers get upset at having to wait for intervening community functions - such as that family with the stroller sprinting across the fast moving street...

e) Human Proportions



It sounds obvious but it is worth remembering that our communities are for people, not vehicles. The average person is probably about five and a half feet tall and walks at about 5 km/hr. Automobiles are more like six feet wide and fifteen feet long and can travel at speeds exceeding 100 km/hr. If we design our communities exclusively around the capabilities and requirements of the automobile we end up with the Don Valley Parkway... Highways are a vehicle priority area, communities are a pedestrian priority area - the better the distinction, the more successful the community is.

5 York River



Many communities capitalize on water frontage far less spectacular than our River. It has served the village in the past for mill - power and transportation. Bancroft is built in a river valley; our most natural focus is the river axis.

a) River Priority

"The York River" is the fifth key decision - making filter for appropriate Town - level decisions. Acceptable decisions should never result in a negative impact upon the community role of the York River.

b) Access to River

Turning around and welcoming the river into the downtown is a significant design challenge, one that offers a wealth of advantages to landowners and community alike. Wherever possible, public access to the river should be improved and celebrated.



Interesting, accessible waterfront - Orillia.

c) Town Docks

For community events, and for upriver cottagers and through canoers, a large public dock within easy walking distance of the core would be a community asset



Public dock in Coboconk

d) Pedestrian Bridge

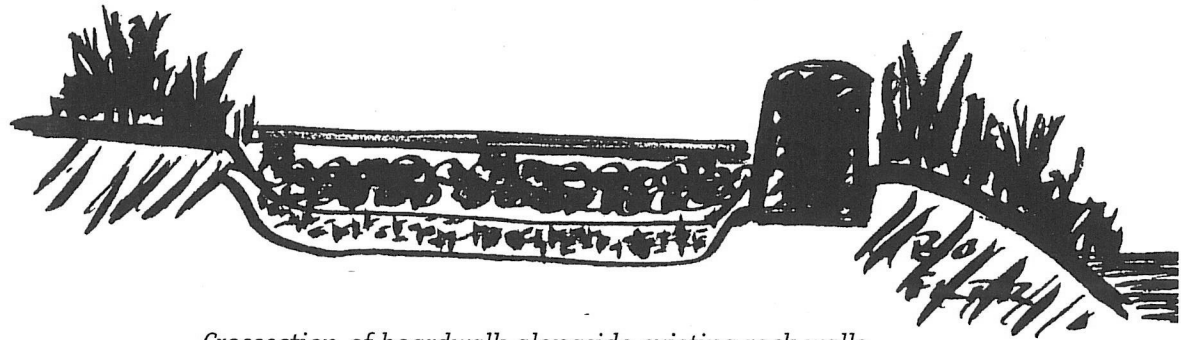
More river crossing options, particularly for pedestrians will improve our relationship with our river.



"Several more walkways / bridges (preferably wooden) across the river."

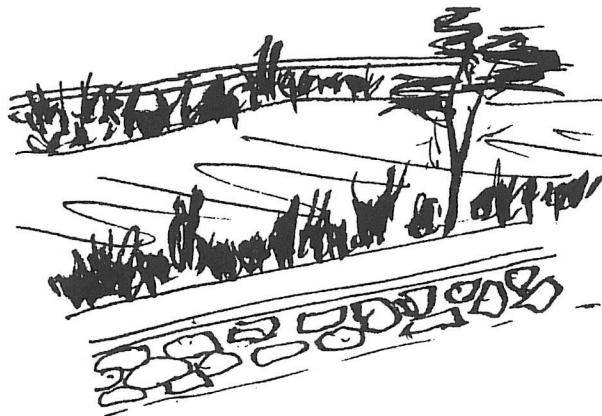
"Need another bridge for walking, cycling, and snowmobiling."

e) Shoreline paths



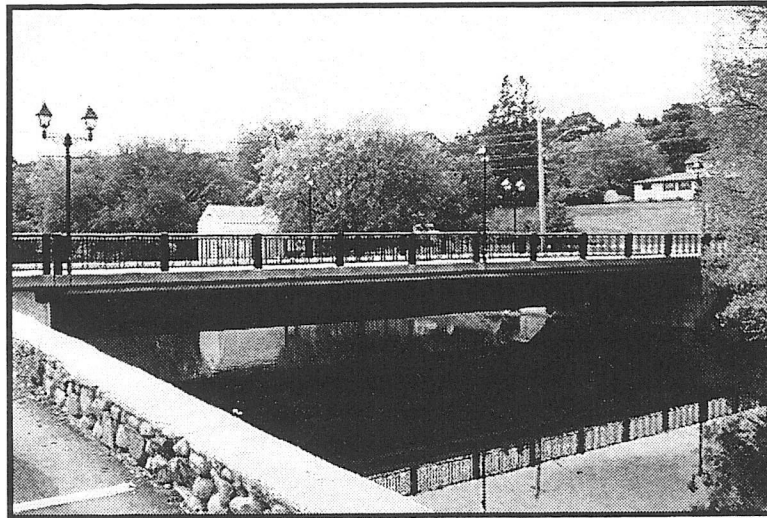
Crossection of boardwalk alongside existing rock walls

A good community goal is to develop as much public shoreline access as possible and provide pedestrian pathway experiences.

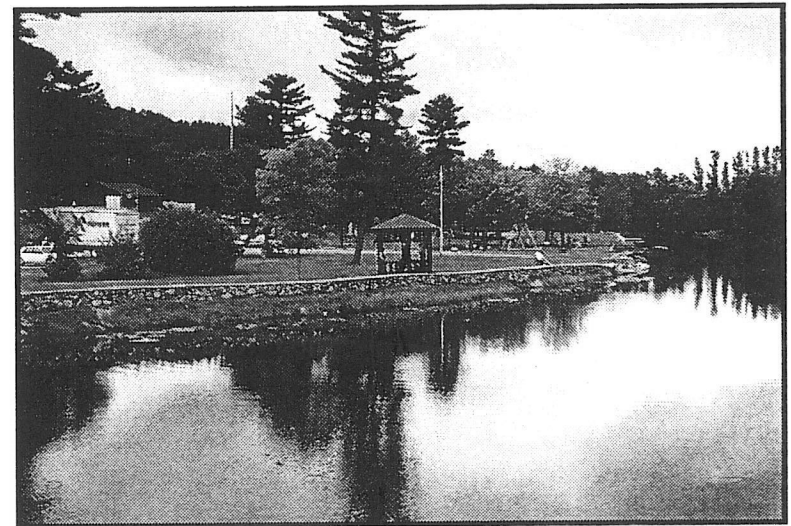


"The river walkway would be an incredible Addition to the Town."

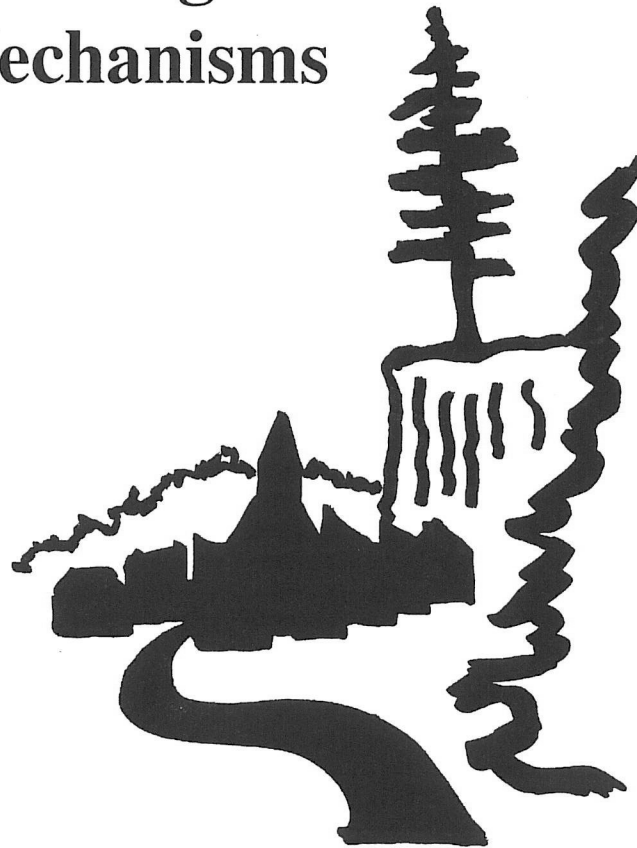
"I would love to see more advantage taken of the river. As you mention, alleyways, walkways, places to explore - would be enjoyed by all of us and our visitors too."



We already have some public river features to work with.



Town Planning Mechanisms



Establishing the planning framework.

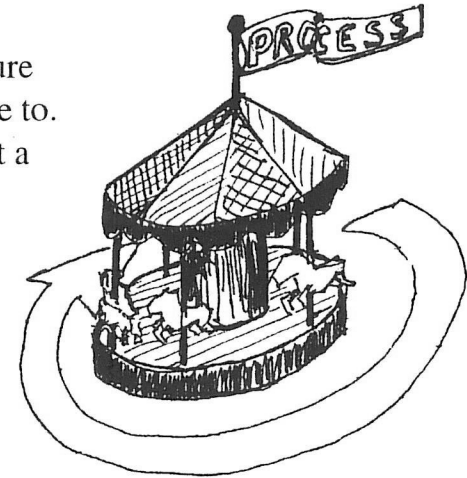
Regulation / Planning Recommendations ...

Our planning tools should never become pure mechanisms which we unswervingly adhere to. Creativity and innovation that could benefit a community can easily be squelched with inflexible regulations.

Our planning mechanisms are tools of the community. Therefore they must serve the desires of the community, and be able to implement the spirit of community vision.

Some of the available mechanisms are mentioned below, along with commentary

The spirit of the community vision should be reflected in the Official Plan for Bancroft.



"Official Plan should be amended to include this vision and design concepts. We can then use site plan control, community improvement, alternative development standards appropriate to the Town, and other available planning tools to implement that vision."

Zoning By-Law

Our existing zoning by-law is dated, difficult to interpret, and needs to be reviewed carefully to ensure that it is capable of carrying the Town forward under the spirit of our community vision.

Design Review

Establishing design guidelines and a development review process is a good way of addressing proposals on their merits, within the Town vision, and with the flexibility to accommodate new ideas.



"Have to resist the urge to accommodate development for the sake of development - need to adopt a set of design guidelines and form a committee to evaluate proposals and work together with proponents to build in harmony with the Town."

"Use site plan control."

Sign By-Law

For new development, the design challenge will be to establish clear guidelines that exclude 'loud', 'pushy', mechanical-style sign types, while leaving plenty of room for individual creativity.

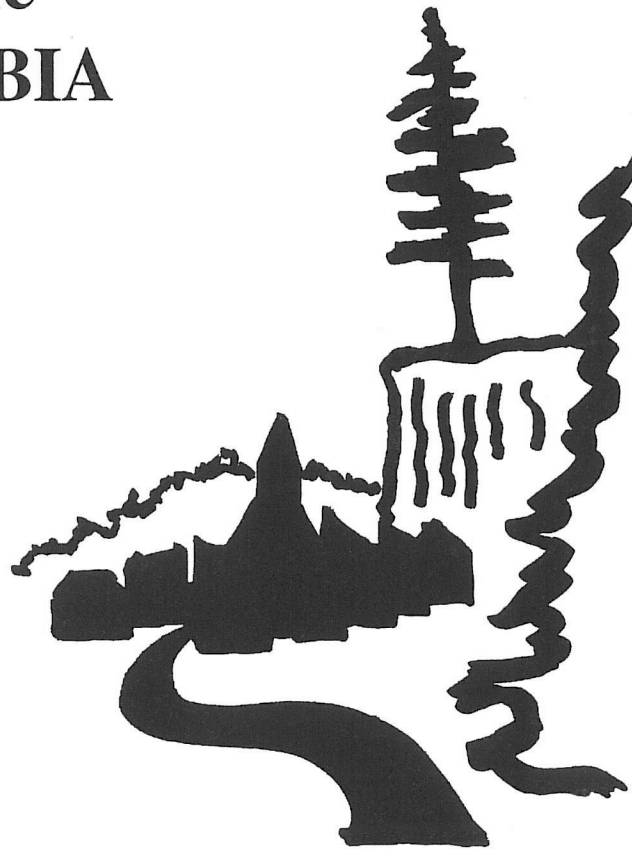


"Adopt sign guidelines that respect the Town character and pass sign by-law to encourage compliance."

Property Standards

Certain artifacts and signs of age are welcome assets - others just show a lack of civic pride that can become a stumbling block for a community that is trying to refresh its image ...

Role of the BBIA



Business improvement by design.

Design Roles of the Bancroft Business Improvement Area ...



Community Dialogue Facilitator

The BBIA has initiated the Bancroft Design Dialogue and in doing so set the stage for community dialogue. The BBIA should continue to facilitate that dialogue between the community, its members, and other agencies and interested bodies. Sharing of information, community workshops, and cooperative programmes are all good ways to do this.

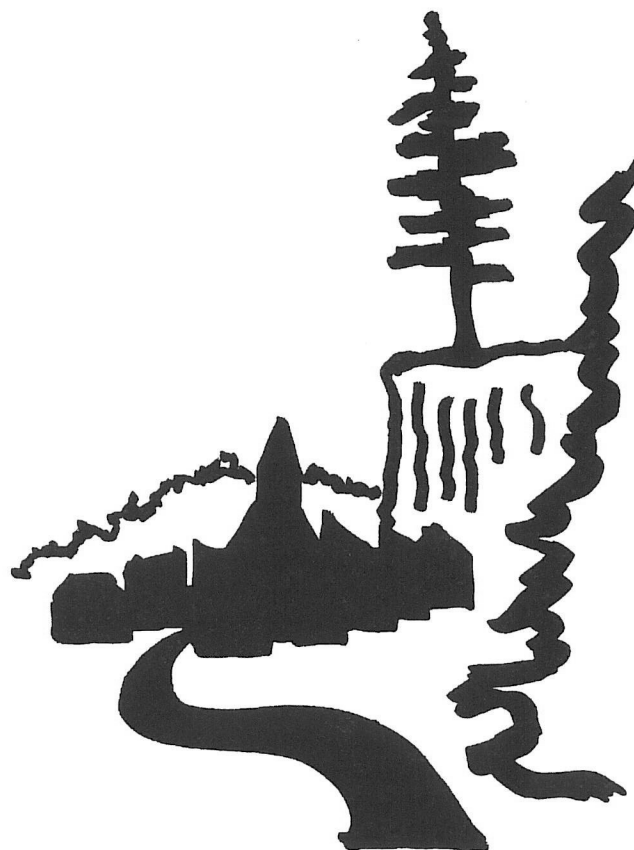
Design Advocacy Role

Armed with information such as that supplied in this resource, the BBIA should endeavour to work closely with other community bodies to deliver appropriate public space design on the ground, while maintaining the focus of the community vision.

Business Design Resource

To address the individual design concerns of its members, the BBIA should play a resource role to supply interested members with information such as this resource package, with networking, and with design assistance programmes where feasible or necessary.

Appendices



Bancroft Design Dialogue -

Forum One Input Summary

96-10-15

TOWN CHARACTER:

Added to the "recipe" for words helping to describe Bancroft's character:

- 003/ "Mill town"
- 003/ "Native History ie: Baptiste/Algonquins/Mississaugas."
- 003/ "Trading route"
- 003/ "Gemstones"
- 003/ "Rockhounding"
- 003/ "Hub"
- 003/ "The Shield: Geologic stability / timelessness."
- 003/ "Highlands"
- 005/ "Building character for the town - Merickell an example."
- 008/ "Village Theme must be used by all committees etc."
- 009/ "Bancroft is a 'staging point' at the intersection of 62 & 28."
- 010/ "I think Bancroft is Setback and Calm."

- 012/ "Cultural activities - arts: visual - gallery, performing - theatre, crafts - artisans. Cottage industry etc."
- 013/ "Culture: Theatre, Arts, & Crafts."
- 013/ "Parks"
- 013/ "Cottage Country"
- 013/ "Historical Homes"
- 014/ "Bancroft as a home to artists should be stressed."
- 016/ "Character: rough around edges; not quaint/cutesy."
- 020/ "The 'Four Seasons Playground' theme must go."
- 026/ "Theatre: active live theatre groups have been here forever !
- when the Village Playhouse was the town hall ! & now we have a Playhouse that is the envy of many communities."
- 028/ "Service oriented town."
- 039/ "Bancroft needs to select a 'theme' and develop it. It presently is a mish - mash of themes that doesn't reflect any vision or theme."
- 041/ "Logging / forestry etc. (&) Tourism, cottagers etc."
- 041/ "Area thrust of course Forestry / Tourism."
- 041/ "Historical focus: Mining."
- 044/ "Building character - stone walls."
- 094/ "Bancroft's character: eclectic, yet solid; surprising, yet familiar; conservative, yet alternative."

- 091/ "Town is unique because of river setting and trails to wilderness all year. People come to play."
- 089/ "Lets think about 'Banff', we look a lot like Banff !"
- 090/ "People come to Bancroft to 'get away from it all'."
- 086/ "Local materials: timber & rock. Not modern."
- 081/ "Friendly, quality of life, relaxed pace, fresh air, rural."
- 074/ "goals: hospitable - small town hospitality, safety, group consciousness/cohesion (sic)."
- 076/ "Mineral Capital / Rockhound Gemboree"
- 071/ "Country, friendly, real, natural, healthy, caring community, helpful people, biking, hiking, relaxed pace (reasonable), nature, harmony, balance."
- 056/ "Building materials & design is very important for Bancroft to develop an identity."
- 054/ "'Events' build character; support local business initiatives."
- 055/ "To me Bancroft should have a Country Rustic appearance as we are a north (community) - not a city."
- 058/ "Character - cottages, hunting/fishing, rugged..."
- 063/ "Healthy, clean-air is your greatest asset. Why not promote it. Smoking everywhere is a very negative image."
- 072/ "Wildlife/animals, trees, RIVER."
- 073/ "community conscienciousness, diverse landscape, mountainous/flat, forest/meadows."
- 077/ "Lakes"

- 087/ "Wilderness, getaway, fun."
- 090/ "Our 'home-grown' architecture should be preserved. It reflects Bancroft's frontier character."
- 092/ "Historic community, special lakes and rivers, center of Eastern Ontario."
- 093/ "Gateway town to Algonquin Park, market town for large area (about 50+ miles in any direction)."
- 094/ "In various pockets, and in different times, shifting like the seasons, Bancroft can be a place of healing."
- 010/ "I think that Bancroft should go one way or the other; stay Rustic or Modernize. Because a modern building, besides an older building looks awkward."
- 088/ "A theme is only as good as the ability to follow it through ! & have the co-operation of all main street property owners."
- 089/ "Culture: theatre/the arts, hills - views, Luge - we have an Olympian here !, dogsledding, stargazing, nature, spiritual healing, pedestrian experience, outdoor rec...."

GENERAL COMMENTS

Dialogue Comments:

- 001/ "Excellent presentation"
- 002/ "This is a great beginning to good things to come - progress without losing our individuality and charm."
- 002/ "Need restaurants to be open, especially in summer after 9 at night."
- 002/ "The new lighting is great and is a start to something good"

- 004/ "Its about time. I hope its not too late."
- 038/ "You missed the 'new economy', 'young entrepreneurs', 'great schools'."
- 034/ "Excellent presentation & forum ! Very well organized & informative."
- 015/ "Open house - Great job Trevor !"
- 014/ "Open up ideas to beyond Business & Gov't issues. ie. homeowners, visual performing arts..."
- 014/ "Nice display, well presented - engenders trust in those responsible for starting the process."
- 018/ "Thanks for a great "START"."
- 019/ "I think people might be better off to pool their energies to solve problems which are a tad bit more important like saving our environment, rather than worrying about what colour our houses are. although there are a lot of good ideas here !"
- 024/ "Make Bancroft beautiful and restored and tourists will come and people will enjoy living here. Thanks!"
- 026/ "Great display - inviting, thought - provoking."
- 027/ "We share your views / vision."
- 027/ "Excellent Presentation / Graphics."
- 027/ "Hope representatives (all) from BBI, CDC, Town Council have taken time to attend."
- 027/ "Great dialogue - thorough, very inspirational !"
- 040/ "A much needed step in the right direction - good luck."
- 046/ "Good presentation, best of luck."
- 050/ "Good display."
- 055/ "Open House - great displays. Well prepared & presented."
- 056/ "Thanks - I look forward to phase 2."
- 063/ "Open house well organized, well presented - keep using this consultant (no, this wasn't my mother's comment...) ."
- 066/ "Whoever did this presentation did a good job."
- 069/ "What a wonderful presentation. Its about time someone has found the need for some long overdue changes (for the better of the whole community). Thank you Trevor, a job well done."
- 070/ Excellent presentation, well done !"
- 080/ "You have already touched on a lot of my concerns - Good Luck."
- 082/ "I applaud the concept, however have great concerns regarding cost of proposed 'ideals' and 'would be wonderful ifs'. Example, where would trees be put along Hasting Street, ? The photo shown looks wonderful, however Hastings St. is not that wide. Look forward to developments of this program."
- 084/ "All of your ideas are good and would contribute greatly to needed improvement, but we have a problem. It is the (spot) our town is situated in. Rock is difficult to deal with."
- 085/ "This was a very well thought out presentation."

006/ "This dialogue is long overdue. Imagine the saved expense if these discussions happened 15-30 years ago. Well Done."

Bypass / Traffic

005/ "The issue of traffic flow is vital to success."

005/ "Bypass needs to be finalized"

008/ "Truck By-pass."

023/ "We need a by pass to avoid a disaster."

024/ "Better intersections - movibility for motorists."

028/ "We need a Hwy (Bypass) around Bancroft, this would make shopping in summer a real pleasure."

029/ "Multiple use of snowmobile trails, ie 1 day per week no-mechanical > snowshoeing / skiing !"

033/ "Alternate walk-ways that avoid steep grades / hills - very difficult to use side walks in winter - or in summer if you have a walker or wheelchair or stroller. Too steep!"

025/ "Do something with the sidewalks..."

034/ "Grade a walkway."

040/ "A 'walk' along river is needed, running behind 'main st'."

047/ "Right idea: walking traffic downtown..."

047/ "Keep traffic flow Down-Town."

050/ "Bypass: How do you look after Heavy traffic downtown without losing (sic) all of downtown traffic."

008/ "Walking paths (paved) are very important - Tourists use them for exercise, sight-seeing etc."

080/ "There's enough 'stuff' on the street now to try & walk around. Sidewalks should be levelled out. "

080/ "By-pass for trucks."

055/ "Sidewalks need improvements."

024/ "New sidewalks - old ones don't always attract tourists..."

059/ "A By-Pass First."

062/ "A river 'trail' walkway."

085/ "I hope the 'walkability' of Bancroft won't be limited to the mainstreet. The other streets in town are poorly maintained in winter and not very walkable, especially for older or disabled people."

088/ "A by-pass to rid all of the drive thru traffic !"

093/ "A problem is developing along the 5th access to town - Chemaushgon Street."

094/ "There are no bicycle racks at all in the entire Town of Bancroft !"

007/ "Interlocking brick sidewalks."

Parking

007/ "Angle parking one side of street."

024/ "Parking places improved."

028/ "Trees on parking lots for shade."

- 047/ "Lots of Down Town Buildings have back parking lots - they just need to be better marked (and organized) ."
- 014/ "Wouldn't it be nice to remove all parking to the rear. Use street parking space for trees etc..."

Community Ecology

- 007/ "Plant trees..."
- 015/ "...a touch of green (maybe trees to soften appearance)."
- 024/ "Some change in the polluted river would be nice - maybe a pool for the kids."
- 041/ "Re: Bull report done through the Haliburton Forest Owners Assoc."
- 055/ "Trees and more flowers."
- 062/ "More shade trees."
- 062/ "More flowers - less grass."
- 063/ "Green, green - come on, more trees, flowers, & natural rock - less grass."

Public Amenities

- 020/ "need new benches"
- 021/ "Fix up the Park"
- 021/ "more things for younger children"
- 021/ "washrooms open at all times"

- 023/ "Public washrooms downtown (even portables)."
- 023/ "Bandshell to attract people out in the evening (theatre, music, youth involvement)."
- 023/ "User friendly facilities & signs."
- 024/ "Make the Park safer for kids, put in other activities to interest the kids, not older kids."
- 025/ "Upgrade the park - make it safer for children (sic). Remembe (sic) - the park is not for Adults, its for children (sic). There is too much water frontage."
- 024/ "The hospital signs could be better. The store signs should be different. Better designs like maybe murals on the walls stating Bancroft's four seasons."
- 024/ "Access to washrooms."
- 037/ "Need signs for public washrooms"
- 040/ "Downtown winter skating area."
- 040/ "A wagon ride going all around town."
- 046/ "Encourage local 'market' places outdoors - maybe in the bandshell."
- 046/ "Stuff to do, a place, for youth & exercise still missing."
- 048/ "not enough recreation facilities for people who are not competitive or for therapy ! ie. an indoor pool."
- 060/ "It would be nice to have permanent outdoor accommodation for the many summer (fair weather) musical events we enjoy ! It would show encouragement & support to those local people who entertain us!"

062/ "More public washrooms."

062/ "More 'no-smoking' restaurants and businesses."

064/ "Ammenities."

090/ "The Pedestrian Experience - how many customers have downtown merchants lost because there are few washrooms to serve their needs."

094/ "There needs to be extra washrooms Downtown (corner of Cleak & Hastings) (is there such a corner?)."

Maintenance

021/ "clean more garbage cans"

048/ "Too many pot holes & gravel."

015/ "Incentive to keep Downtown clean: sidewalks swept or shovelled, storefronts washed, dusty parking lots cleaned up or fenced..."

Heritage

012/ "Hopefully we shall be also looking at the private homes in the down town area. They also reflect the character & history - and many of them are attractive and worth preserving."

014/ "Bancroft has very few 'historical type' homes. There must be some encouragement to save what we have."

029/ "Mining/logging > industrial heritage interpretation, ie. mural development."

Signage

025/ "Do something with the signs..."

008/ "Coordinated signs, colours."

035/ "Eliminate portable signs & sandwich boards, replace with freestanding illuminated or backlit signage on new buildings."

035/ "Hanging signs & front lighting."

044/ "Guidelines for signs & buildings are fine as long as they allow individuality."

094/ "There is a conflict in signage at the Chamber of Commerce. Visitors drive up and go in the gallery to ask for the chamber office or the mineral museum. This is distracting for gallery workers. The town refuses to allow better signs to be put up at the station. As the information 'hub', the station/chamber building/gallery is poorly marked. I would suspect a lot of people don't know we have a gallery. How about a central sign post (wooden) for all 3 near the road?"

079/ "Hanging signs - appropriate."

Aesthetic

037/ "Some of the tourist dollars need to come back to make the town more attractive."

044/ "Avoid the look of tourist trap, 'cutsie' places such as Stowe, Vermont."

055/ "Bridges are assets if developed with lights etc... "

062/ "Tourists carry cameras - town should be photogenic."

062/ "Outdoor wall murals with historical or local themes."

062/ "Local natural rock is missing from your building material list."

063/ "Wall murals could be attractive in downtown area."

063/ "Use natural, local building materials."

073/ "Interlocking brick on main street."

020/ "co-ordinate colors on buildings"

040/ "Storefronts to be something more pleasing than used on Home Hardware. ie: turn-of-century motif."

River:

022/ "I believe that the town council should discuss the possibility of making a series of riverfront shoppes and restaurants, or even move existing shoppes to riverfront. I feel it would fit the atmosphere that we already have here and boost the tourist business extremely."

046/ "Better use of River & Eagles Nest could be made."

056/ "Area along the East side of River (behind stores) has such great potential for commercial & pedestrian walkway - great are for small shops & cafe's."

063/ "River access should be improved."

090/ "Why do we continue to ignore the river ? Imagine a pedestrian mall along the York !"

062/ "The river is an ignored asset."

021/ "have one continue (sic) water level"

023/ "Water quality in the river - water levels kept at a more even level, not up and down."

049/ "changes in river level; how will it affect development & tourist or canoe."

046/ "Can river's height be more consistent ?"

Business Atmosphere

046/ "People... need to be treated right when they get here ! Customer service !

049/ "I think downtown businesses have to become more user friendly. ie. more consistent business hours. A walk through downtown Haliburton on a Sunday would be a good start."

076/ "Common store hours. Later evening hours."

047/ "Stop "Big Box Stores", ...would kill down Town idea."

062/ "A more open-minded newspaper."

025/ "Bring in a shopping mall ie. Giant Tiger or Biway. everyone goes to larger towns for larger selection and cheaper prices. we are losing buisness (sic) bring one back here people will stay we will earn more money."

028/ "Get rid of dead shops."

Other:

009/ "What is Bancroft's 'product' which it can sell to sustain economic growth ? - it has no industry or resource harvesting to provide employment & population growth."

009/ "Bancroft has around it natural assets (non-harvestable) which can sustain economic growth & population via tourism and retirement venue."

- 009/ "Bancroft has little control over its only viable 'product' per above - it resides in the surrounding townships. Bancroft will only become a 'destination' community over the long term if it can control these assets. This is the first issue to be resolved."
- 029/ "Stay away from Muskoka type overdevelopment for the wealthy - it will displace anyone living on economic/alternative margin & kill any unique character in this village."
- 033/ "Diverse groups of people > diversity."
- 046/ "I think your approach is trying to attract, create activity, & retain peoples attention & give them a reason to come back."
- 051/ "This village has evolved through the years. It is the sum total of the people who lived - and did business here. My concern is that an environment planned "by a committee" may seem the right thing by well meaning people but end up reflecting the ideas of a few. I like the way the village evolved and would like to see it evolve in the future the way it did in the past."
- 058/ "Issues - social issues, recreation activities/facilities downtown, enforcement of guidelines, night life."
- 059/ "What will our municipality become in near future. Will Bancroft be only a part of a larger community."
- 062/ "To promote Bancroft - have a photo contest."
- 065/ "It should also be noted that we must find ways to attract more industry in order to sustain the economy and enable businesses to thrive and improve their appearance etc. We cannot rely on tourism to be our only bread & butter."
- 068/ "I feel the downtown is not large enough to handle the growth that Bancroft will enjoy - A definite tie in of #62 N must be done in conjunction with the downtown !"
- 076/ "What do our visitors request."
- 078/ "This is all very important an (sic) it is also important to consider what the cost (financial) will be. We must not expect that everyone can afford it or get out. There should be some kind of help for small business on tight budgets if shanges have to be made. Also consideration of those who live downtown."
- 093/ "Vandalism in the park prevents open washrooms etc..."
- 094/ Bancroft's astrological sign is Libra = communication. There are more photocopiers in this town than in any other town of this size. There is a potential for communication within/ without this town."
- BUILDING MATERIALS:**
- Percentage of respondents who felt material to be suitable for this community (by material):
- Additional materials raised:
- SIGNAGE:**
- Additional Comments:
- GOALS:**
- Of 90 participants who filled out this section, the percentage who felt each goal to be worthwhile:

Additional Goals Cited:

- 001/ "Develop trail on west side of river along heritage trail. Should be park with benches & flower beds."
- 001/ "Organization of Kinsmen Park."
- 002/ "Keep roads in good repair. Municipal Parking."
- 002/ "No scrap-junkyards in Town limits. Keep properties clean - no old cars in disrepair - junk etc, on properties."
- 003/ "Create By-laws, hopefully retroactive, on architecture and scale for franchises."
- 003/ "Form a heritage committee within Council to set publically acceptable guidelines with enforcement authority."
- 006/ "Possible pedestrian walkway along river (east bank) with appropriate vending spaces available."
- 006/ "Less concrete & pavement on main st. More green vegetation if possible to maintain without huge extra expense."
- 007/ "Develop rear entrance to store & parking area along ring as walking park & parking."
- 007/ "Use alleys way as court yard & side or rear entrances."
- 008/ "BYPASS; get heavy trucks out of core."
- 012/ "Street address signs - lamps - night lighting."
- 013/ "Promote the theatre & arts."
- 013/ "Street lamps & seats great improvement."
- 014/ "Bancroft should promote its unique citizens & activities."
- 014/ "Bancroft must realize it is coming in late to what towns to the west have been doing for years / competition."
- 015/ "Town theme supported. ie: Four Seasons Playground."
- 015/ "Town maintenance; storefronts & sidewalks."
- 019/ "Bancroft should develop something for the younger generations. eg. Movie theatre."
- 019/ "I think people would like more shopping choices. Examples are: music stores, musical instrument stores."
- 021/ "Fix road down town the humps & bumps."
- 024/ "Bancroft should stick to the kind of building design, not putting old & new together it doesn't mix."
- 024/ "Bancroft should make signs more excessable for pedestrians to see while walking, not just motorists."
- 027/ "Bancroft should consider a core pedestrian area (Town Court Yard) ie: townclock, seating, washrooms, landscaped."
- 028/ "Bypass the Town to give way for shoppers !"
- 028/ "Cooperation with adjacent townships."
- 029/ "Bancroft should tell its story in some way - colonization to logging to mining; industrial heritage interpretation. ie. mural development."
- 029/ "Capitalize on big rock outcrops & maintaining a growing stock of big white pines - a heritage vegetation management plan."

- 033/ "Wheelchair / physical disability accessibility."
- 034/ "Bancroft should afford access to people with physical disabilities."
- 035/ "Don't make it into another "cute" facelift like - Markham, Unionville, Cobourg."
- 037/ "Bicycle, skateboards, rollerblades need space & lanes."
- 037/ "Trees would be nice."
- 038/ "Bancroft and surrounding communities must introduce a freeze on all development pending an introduction of development control and a uniform sign by-law."
- 040/ "Profit from other areas projects. ie; Unionville, Niagara on the Lake, Collingwood, - even Disneyworld."
- 040/ "The Heritage Trail is great, but we in Bancroft need a short (1-3km) trail which is "circular" in layout to be used for walking and/or cycling."
- 041/ "Bancroft should enhance its natural heritage, natural resource based future in any themes to be used."
- 041/ "Bancroft will recognize the demographic shift in population, therefore realizing the importance of accessibility and the available natural beauty."
- 043/ "Stop strip development !"
- 043/ "Develop site plan control."
- 043/ "Great job Trevor on this display!"
- 046/ "After all this, some attention should be given to unity in the way in which shopkeepers receive their customers (customer service) & not just tourists but regulars too."
- 046/ "Also consistent hours of being open. Tough one but..."
- 048/ "Bancroft should gear itself to recreation for an aging population, & to attract these type of grey power."
- 050/ "Deal with through traffic, heavy trucks etc. without losing all traffic."
- 052/ "Ensure adequate parking."
- 053/ "Village Clock."
- 053/ "Cafes'."
- 056/ "Business Development along the River Banks."
- 058/ "Bancroft should not choose a static image to aspire to. Bancroft should set a minimum "quality" rule."
- 058/ "Bancroft should not become the same as other "northern" towns."
- 059/ "No signs on street."
- 060/ "Parking facilities have to be available (free)."
- 062/ "Bancroft has a unique character based on History & Geology which will attract tourists from around the world."
- 062/ "Bancroft could become a leader demonstrating sustainability as opposed to its history of non-sustainable practices."
- 063/ "Should "green" downtown - trees, flowers... Natural rock in abundance."

063/ "Should promote "healthy" air & healthy lifestyles - more non-smoking restaurants."

067/ "Downtown businesses (should) have common business hours."

067/ "Perhaps some regulations on how many businesses should be allowed. ie: number of restaurants, number of book stores, giftstores fabric stores... No more junk stores (that) have many diverse & wide ranging products and services."

075/ "Esthetically (sic) Pleasing."

075/ "Support & Promotion of Tourism."

076/ "Bancroft should continue to develop their already good parks - from point of through traffic - stop rests."

076/ "Playground & washroom facilities."

081/ "Bancroft should develop a town centre - trees, benches, "events" kiosk & town map."

081/ Bancroft could save \$ and create great ambience by rethinking street lighting & allow new streetlamps to do their magic without the additional (ugly) overhead flood lights."

084/ "People & businesses should be encouraged to "work" together."

089/ "Let the world know we're here without letting the world trash us."

089/ "Job creation or the possibilities of growth would encourage many getting away!"

090/ "Remember the river & its potential."

091/ "Attract more high tech "cottage" industrie to area. Low-impact & suited to serene areas."

092/ "Keep business/industry, and environmental concerns in balance but recognize the need for both."

094/ "The Bancroft Sports store/Dixie Lee corner (Madawaska & Hastings Streets) needs traffic lights !!! Stress!!"

094/ "Sustainability. Community gardens. Hemp grown in the hills for sale to GP Flakeboard to save trees. Bike racks. Bike racks. Bike racks."

BBIA - Bancroft Design Dialogue:
Community Comments from Forum Two,
"Community Vision Building"

CHARACTER

"Trilliums beside North end of Hastings Street on approach to Eagles Nest - these are ignored by strip developers."

"I like our simple, solid building style!"

"People are NOT friendly."

"I see a clear progression of thought from 'history' to 'building style'. It was this that drew me to this community as a retirement location. I also noted however, that much of the potential had been allowed to go to waste. I therefore agree completely with the 'vision' presented here."

"Towering TREES, not just pines."

"Customer focus - friendliness needs to improve."

"Community market !"

ASSETS

"Outdoor Market needs more promotion."

"Flowers on light standards are excellent!"

"York - what an asset - use it!"

"Trails to LINK our assets are important."

"Outdoor market should be at the old Canadian Tire building."

"Hospital building."

"Railway history."

"Geology & Minerals."

"Town as junction between highways - excellent pivotal point."

"Hastings Heritage trail as greenspace !"

"Old Canadian Tire building should be a community centre of some kind."

"Will the new Cleak St entrance be used ?"

"Consistent facade in retail area (up to sidewalk)."

"Use site plan control."

"Stone walls can also be barriers."

"Outdoor market should be improved with permanent awnings etc..."

"Need another bridge for non-vehicular traffic."

"Abridge for walking, cycling, and snowmobiles would be helpful."

"Outdoor market needs to be improved."

"Need community space downtown."

"Library should be expanded and be better integrated into town."

"Parking available behind Harvest Moon"

GENERAL

"Access to York River should be improved."

"Open house a great idea !!! We chose Bancroft as a retirement community because of its potential for pedestrian access to shopping, community activities, and its charm. Sidewalks and walking trails MUST be expanded and improved - the potential is there."

"I am in complete agreement with this vision, and all of its elements. Keeping the character of the 'village' is important but one can't overstate the need for a focal point if much of the character is not to be lost. The area of the river/bridge/park along Station St. seems to be the natural centre and should be developed to draw people and encourage visitors to stop, and stay awhile longer. Walkways on both sides of the river; more seats etc..."

"Cleanliness is important, few communities provide enough trash containers & strategic placement."

"While not strictly part of the 'village vision' the airport is important and could become a major asset to the community if its development was as carefully considered as the community is. It is the airport that first brought me to Bancroft. I know many others who would at least visit if the facilities were better suited to their aircraft and needs. As general aviation and recreational pilots are increasingly squeezed out by regulation and escalating costs, they will be looking for cheaper and more accessible places to go. Bancroft airfield is also a critical emergency landing or diversion airfield in the middle of a large inhospitable and rugged area. We should encourage recreational flyers to make it their destination."

"I bought an old home in Bancroft - the old parsonage - that has character and beautiful pines etc.... I want to restore it, much as it used to be. Would it not be helpful to people like me if there was a place in town where I could drop in and get the necessary help on what I should be doing/using for materials/design/repair methods ? If the 'village vision' is to take-off, such help for individuals should be put in place very soon. Individuals restore or build when they are ready, not according to a community timetable."

"Please try to maintain main street shopping area and try to prevent the tacky "strips" one usually encounters when entering small Towns. One of the things that impressed me on entering Bancroft for the first time was the fact that we didn't have to drive the "strip" before entering the Village. Keep Bancroft Beautiful !"

"Natural vegetation should be protected. eg. Trillium plots beside highway - they could also be planted in park areas near river."

"This display should have been more than 1 day ! Also more newspaper coverage all along - there has been a lot of hard work put into this presentation, a lot of thought !!!"

"Keep up the Dialogue ! "

"I found the open house to be very enlightening. Redesigning Bancroft is quite an undertaking - one which is necessary to maintain the Village, as a tourist-based economy becomes even more evident. Thank you for all the effort that you've put into this presentation."

"Really excellent & comprehensive research !"

"Bancroft does need unique and friendly stores. As in Europe, where a small space are often used effectively for shopping, nature, music, and historic sites."

"Training is needed for those in our tourism and hospitality fields - attitudes are remembered for a long time, even over the beauty of our natural assets."

"Have to resist the urge to accommodate development for the sake of development - need to adopt a set of design guidelines and form a Committee to evaluate proposals and work together with proponents to build in harmony with the Town. Official Plan should be amended to include this 'vision' and design concepts. We can then use site plan control, community improvement, alternative development standards appropriate to the Town, and other available planning tools to implement the vision."

"The Design Dialogue is well timed, as changes are being pushed on us from all directions. With the help of this project we will be able to respond, rather than react!"

"Some sort of unified approach to urban & Faraday planning - highway 28 corridor is a mess ! I am not really in favour of regional Government, but I see the need for regional planning & sprawl control."

" 'History' & 'Heritage' within this dialogue seems to overlook native peoples and their presence."

"A clean river would improve the chance of projects to access it and return tourist / Town use of the park."

"More involvement by young people would stimulate more interest, involvement & innovation."

"The CDC and C of C should encourage harmonious enterprises and events to support these changes and minimize the likelihood of discordant development & events."

"No mention of future pool development"

" I do not like the comment - Bancroft is ... a bunch of guys gathered around a woodstove talking about the mission to Mars - it makes us look a little pioneerish. "

"River development is mentioned. But how is fire safety and accessi-

bility be tackled."

"Development of river would involve purchase of several private parcels of land. Who would pay for this ?"

"Some Design changes should be strongly recommended. However need to be careful about regulating change. If we are going to be Tourism community we need to look at any change through their eyes - why did they choose to visit our community ?"

"It is important that development take into account Bancroft & North Hastings heritage: our natural resources - minerals, timber, fish & wildlife."

"This area has to be a place where people wish to stay or return to."

"Bancroft's downtown core has to become more people - oriented."

"Utilization & Development of the East side of the York River to attract special shops & restaurants would go a long way to creating space that could be extremely attractive to pedestrian traffic."

"Great pictures - happy that they were not all winter scenes, because town appears dirtier with its 'brown' snow. "

"Very promising outlook - lots of potentials. Would love to show a 'before / after' to support each progression made & to encourage each subsequent step."

"Bolder presentation of 'entrance to Bancroft' signs - use of rock & timber to accent our character."

"Great presentation."

"The river walkway would be an incredible addition to the Town."

"Use local wood & stone in buildings."

"Put the open market in the area used for parking across from the

TD bank.”

“As a pedestrian it feels like the Town stops at the lights at Station Street..”

“Lets remember our history. This is NOT a Victorian Town historically, it is a lumber & mining community.”

“What you have done so far is great.”

“Preserving our most significant character & assets requires caring for our natural environment - trees, water quality, habitat, etc...”

“Good luck ! You did a great job.”

“Good luck !”

“Good luck in implementing many of your ideas.”

“Provide spaces for elderly to walk - shade, etc...”

“Use public spaces for village landscape projects that bring the community together.”

“No time limit on parking. People spend more time walking & shopping when there is no time table pressure.”

“Thanks.”

“I would love to see more advantage taken of the river. As you mention, alleyways, walkways, places to explore - would be enjoyed by all of us and our visitors too.”

“You have covered all of the main problems & seen many more possibilities than I could have. If Bancroft can do even half of what you suggest, it will go a long way to keeping people in Bancroft & encouraging visitors to keep coming back. Good Luck !”

“Water Tower properly maintained and signed.”

“Make main roads that can stand up to heavy trucking.”

“A good start, but only a meeting place ?”

“Why does the focus seem to be on the Town only ? It is the economic centre of N. Hastings. I believe any vision or plan needs to include the assets and possibilities for the whole area in an integrated way.”

“The people page touches on this but with a hint of WE / THEY.”

“We do not need to focus on building architecture - just let it happen (within reason). but we need to focus on people, their views, and their real needs.”

CHALLENGES

“Avoiding new monstrosities in building styles is important...”

“Common rear parking and loading organization is very important.”

“Several more walkways / bridges (preferably wooden) across the river.”

“Multiple municipalities will be a necessary issue when dealing with highway sprawl.”

“Its pretty dense downtown - manoeuvre with care !”

“Town Focus - York River Park ?”

“Development below Eagles Nest is UGLY, unnecessary, and dangerous !!!”

“Building form & siting - we need to build in harmony with situation.

Trend to 'level' site before building needs to be resisted."

"Adopt sign guidelines that respect the Town character & pass sign by-law to encourage compliance."

"Sign mess is an eyesore now - we need to decide on what is appropriate SOON!"

"Government and institutional buildings should become good examples of appropriate building styles - this is not currently the case."

"Softening existing wall spaces with ART."

"Level sidewalks"

"By-Pass routes"

"Public response."

"Eliminating use of industrial siding - ie Remax."

"Enforce property standards by-law."

"Sidewalks done in cobblestone or interlocking brick with flowerbeds hold a lot of appeal for residents & tourists"

"Transportation."

"Walkways for aging population."

"Development of walkable community spaces, especially next to river."

GOALS

"Regional planning would help control its low density highway sprawl."

"A place where our young people will want to stay and work in."

"Focus on mineral uniqueness which is known worldwide."

"I believe Bancroft has so much potential to be a Town you 'just have to visit...'"

"Definite guidelines for structures, signs and materials."

"A more co-operative and progressive Business Association and Council."

"By-Pass !"

"Fairground for special events."

"A solar panel for every roof and a bicycle rack for every business."

"Community gardening and composting."

"Tire house building in town - tourist attraction (over 1000 people have visited the Earthship in Gilmour in less than two years.)"

"All of the mentioned goals in equal measure - there must be even more effort to reach people with ideas and comments - COMMUNICATION between agencies !"

"Would like to see town become 'rustic' but not shabby. A 'warmer' shopping atmosphere and a more receptive attitude from service sector. More unity among merchants also."

"No sprawl."

"Must make better use of the river."

"More x-walks, properly signed and lighted."

VISION

“Unforgettable - a place people want to revisit, stay longer, move to, and remain living in.”

“Nicely worded ! “